

# Standard Operating Procedure

for Building Design Execution & Monitoring **2023-2024**



## Design Wing

Commercial, Residential  
Building Control Department

## FOREWORD

The Planning and Designing Wing is pleased to present Bahria Town SOP's 2023-2024. This is the 8<sup>th</sup> revision of SOP's, wherein it has been tried to make them more comprehensive, clearly understandable and unambiguous.

Keeping in view the needs of ever-growing housing requirements and demands of the member's, following committee was constituted to review the present SOP's and formulates and up-date the existing ones.

Mr. Sheraz Saleem (Head Service-North)	Member
Ms. Amreena Asif (Sr Chief Architect-Residential)	Member
Ms. Nadia Zohaib (Chief Architect-Commercial)	Member
Mr. Saqib Dayo (GM Planning Department)	Member
Mr. Niaz Hussain (GM BCD Phase VII-VIII)	Member
Ms. Hadia Tariq (Assistant Chief Architect)	Member
Mr. Tariq Mehmood (GM BCD Phase I-VI)	Member
Mr. Ali Shan (Sr Manager Design Wing)	Member
Mr. Qasim Irfan (Sr.Town Planner Planning Department)	Member

Certain relaxations in the covered area and other items have been allowed in these SOP's in the best interest of the inhabitants. Management expects that Residential/Commercial plot owners will abide by them strictly so that Bahria Town could be presented as a model town within the country and abroad.



**Mr. Amir Javed**  
(Head Design Wing)

### **Message:**

"Our living environment is weaved by different elements and among those are buildings. It is essential to develop and implement functional standards and procedures throughout the building design and construction stages"

Note: SOP's will be updated on monthly basis.

## DESIGN WING ARCHITECTS LIST

Name	E-mail	Mobile No.	Extension
<b>RESIDENTIAL</b>			
<b>Ms. Hadia Tariq-</b> Asst Chief Architect	hadia_tariq@hotmail.com	0334-5073555	051-111-333-888 UAN # 220
<b>Mr. Muhammad Khawar</b> Senior Architect	khawararch@gmail.com	0333-3484232	051-111-333-888 UAN # 111
<b>Ms. Muzna Majid</b> Architect	ar.muznamajid@outlook.com	0334-9069803	051-111-333-888 UAN # 460
<b>Ms. Filza Ajaz</b> Architect	filzioajaz@gmail.com	0344-2869736	051-111-333-888 UAN # 112
<b>Ms. Shanza Murtaza</b> Architect	murtazashanza51@gmail.com	0346-0240824	051-111-333-888 UAN # 112
<b>Ms. Monina Akhtar</b> Architect	Mominaak023@gmail.com	0332-5821972	051-111-333-888 UAN # 112
<b>Ms. Aqsa Khan</b> Architect	aqsaashhadkhan@gmail.com	0334-0465668	051-111-333-888 UAN # 112
<b>Muhammad Irfan</b> Architect	irfanmuhammad727@gmail.com	0309-7670668	051-111-333-888 UAN # 219
<b>Ali Zain Ghazi</b> Architect	ghazializain@gmail.com	0330-8888044	051-111-333-888 UAN # 112
<b>COMMERCIAL</b>			
<b>Ms. Mehwish Nasir</b> (Sr. Architect)	m.nasir@bahriatown.com.pk	0335- 1533445	051-111-333-888 UAN #172
<b>Mr. Waqas Hussain</b> (Architect)	w.hussain@bahriatown.com.pk	0334-3629035	051-111-333-888 UAN #102
<b>Mr. Shahid Mehmood</b> (Architect)	shahid.mehmood.01@hotmail.com	0333-4360908	051-111-333-888 UAN #160
<b>Mr. Ali John Kazmi</b> (Architect)	alijohnkazmi.5@gmail.com	0323-5120014	-----
<b>Ms. Fatima Ejaz</b> (Junior Architect)	fatimaejaz72@gmail.com	0317-4766165	-----

**RESIDENTIAL****DESIGN WING-CONTACT NUMBERS****RECEPTION & MANAGER**

Name	E-mail ID	Mobile No.	Ext.
<b>Mr. Obaid Ur Rehman</b> (Deputy Manager Coordination)	<a href="mailto:Obaid.rehman@bahriatown.com.pk">Obaid.rehman@bahriatown.com.pk</a>	051-111-333-888	-----
<b>Mr. Fahad Ur Rehman Awan</b> (Mep Engineer)	<a href="mailto:fahad.rehman@bahriatown.com.pk">fahad.rehman@bahriatown.com.pk</a>	051-111-333-888	Ext-350
<b>Mr. Umer Masood</b> (Deputy Manager Customer Relation)	omer4040masood@gmail.com	051-111-333-888	Ext-197
<b>Mr. Usman</b> (Asst. Manager Coordination)	Muhammad.Usman1@bahriatown.com.pk	051-111-333-888	Ext- 407
<b>Mr. Husnain Rauf</b> (Assistant Manager Design Coordination (Exterior Finishes)	hasnainraja37@gmail.com	051-111-333-888	Ext- 190
<b>Ms. Momina Qureshi</b> (Coordinator)	qureshimona7@gmail.com	051-111-333-888	Ext- 407

**COMMERCIAL****DESIGN WING-CONTACT NUMBERS:****RECEPTION**

Name	E-mail ID	Mobile No.	Extension
Mr. Shahryar Malik (Asst. Manager Customer Relation)	<a href="mailto:s.nadeem@bahriatown.com.pk">s.nadeem@bahriatown.com.pk</a>	0340-5217556	UAN #407
Mr. Uzair Akhtar (Asst. Coordinator)	u.akhtar@bahriatown.com.pk	0318-1558845	UAN#407
Ms. Zoya Aamir (Coordinator)	<a href="mailto:z.aamir@bahriatown.com.pk">z.aamir@bahriatown.com.pk</a>	0315-0007100	UAN # 407
Mr. Asad Habib (Asst. Coordinator)		0344-5008975	UAN # 407
<b>Mr. Nadeem Khokhar</b> Site Engineer PHASE- I-VIII		0300-5111720	

**BUILDING CONTROL DEPARTMENT (B.C.D.): CONTACT NUMBERS**

Name	Mobile No.	Landline No.
<b>Mr. Tariq</b> -GM BCD North Phase I-VI	0300-5109228	051-5730538
<b>Maj. Niaz</b> -GM BCD South PHASE- VII-VIII	0336-5488140	051-5401152

**REVISION 2023-2024**

1.2.20	FRONT ELEVATION .....	-3-
2.34	SERVICES .....	-11-
2.36	SEPTIC TANKS .....	-12-
2.37	SOLID WASTE MANAGEMENT / GARBAGE CHUTES.....	-12-
2.42	TERMITE PROOFING .....	-13-
2.45	UNDER GROUND/OVERHEAD WATER TANK .....	- 13-14 -
3.6.2	SWIMMING POOLS IN SETBACKS & MEZZANINE.....	- 22-
3.11	ENTRY GATE(S) .....	- 23 -
3.13	MUMTY .....	- 24 -
3.17	BOUNDARY WALL .....	- 25 -
3.18.1	DOUBLE BASEMENT .....	- 26-
3.19	PORCH.....	- 27 -
3.21	ROOF TOP .....	- 28 -
3.22	RAMPS.....	- 28-29 -
3.27	PLOTS AT THE EDGE OF SLOPES / RIDGES.....	- 30 -
3.32.3	<i>DESIGN PAYMENTS.....</i>	<i>- 33-34-35-36-</i>
3.32.5	<i>MUMTY AREA EXTENSION-PAYMENT DETAILS .....</i>	<i>- 38-</i>
3.32.7	<i>REQUIREMENT OF DOCUMENTS FOR SUBMISSION FROM CLIENTS IN RDA/CDA .....</i>	<i>- 39 -</i>
3.32.11	<i>CONSULTANTS (GEO TECH &amp; STRUCTURES) .....</i>	<i>-43-44-45-46-47-48-49-50-</i>
	<i>COMPLETION NOC's CATEGORY 3 UNDERTAKING AFTER COMPLETION OF BUILDING.....</i>	<i>-51-52-53-54-55-56-57-</i>
5.6.6	SOLAR PANNEL .....	-71-
5.6.7	WIRE MESH SHUTTER .....	- 71 -
5.7	MUMTY .....	- 71-72 -
5.9	DESIGN & STRATEGIES S.O.P's .....	- 72-73 -
5.10	SOLID WASTE MANAGEMENT / GARBAGE CHUTES.....	-73-
5.19	STANDARDS FOR SERVICE STATION (RDA/CDA) .....	- 76-77-
5.21.3.1	<i>FOR BUSINESS DISTRICT PLOTS .....</i>	<i>- 84-</i>
5.21	<i>CONSULTANTS (GEO TECH.,STRUCTURES &amp; MEP) .....</i>	<i>- 90-91-92-93-94-95-96-</i>
12.16	CONSTRUCTION PERIOD .....	-135-136-
	FINES & PENALTIES PIONT NUMBER 39 .....	-147-
	UNDERTAKINGS.....	-150-151-152-153-154-155-156-157-
	MUMTY EXTENSIONS.....	-158-
	DESIGN CHARGES- PARADISE & GATEWAY (PAYMENTS).....	-159-
	FLOWCHART RESIDENTIAL (EGNLISH & URDU) .....	-160-161-
	FLOWCHART COMMERCIAL (EGNLISH & URDU).....	-162-163-

Note: SOP's will be updated on monthly basis.

## INFORMATION SPECIFICLY RELATED TO BUILDING CONTROL DEPARTMENT

### RESIDENTIAL

	RESIDENTIAL & COMMERCIAL INFORMATION.....	- III -
1.2.8	B.C.D.....	- 2 -
2.6	BUILDING CONTROL DEPARTMENT.....	- 6 -
2.42	TERMITE PROOFING.....	- 13 -
3.32.2	DESIGN PROCESS.....	- 33 -
3.32.8	IMPORTANT INFORMATION.....	- 40-41 -
3.32.10	FINAL COMPLETION TO OCCUPY BUILDINGS.....	- 41-42 -
	COMPLETION NOC'S.....	- 51-52 -
12.20	INSPECTION STAGES (RESIDENTIAL BUILDINGS) .....	- 136-137

### COMMERCIAL

5.6.1	HOARDINGS.....	- 70 -
5.21.2	DESIGN.....	- 80 -
5.21.8	DOCUMENTS REQUIRED TO INITIATE / APPROVE DESIGN .....	- 86-87 -
5.21.12	FINAL NOC TO OCCUPY BUILDINGS.....	- 88-89 -
	UNDERTAKING.....	- 101 - 102-
	COMPLETION NOC'S.....	- 103-104 -
12.1	DEMOLITION POLICY.....	- 139 - 140
12.19.	SOP'S.....	- 135-136 -
12.21	INSPECTION STAGES (COMMERCIAL BUILDINGS) .....	- 137-138 -
5.21.12	INSPECTION CARD.....	- 138 -
12.38	CANCELLATION OF NOC.....	-141-
	FINES AND PENALTIES DESIGN WING-RESIDENTIAL & COMMERCIAL.....	- 145-146-147-

## Table of Contents

<b>FOREWORD</b> .....	<b>1</b>
<b>1 GENERAL</b> .....	<b>- 1 -</b>
<b>PRELIMINARIES</b> .....	<b>- 1 -</b>
1.1 SHORT TITLE, EXTENT AND COMMENCEMENT .....	- 1 -
1.2 GLOSSARY OF TERMS .....	- 1 -
1.2.1 ADDITION / ALTERATION / REVISION IN PLAN.....	- 1 -
1.2.2 APARTMENT.....	- 1 -
1.2.3 ARCADE .....	- 1 -
1.2.4 BALCONY .....	- 1 -
1.2.5 BAHRIA TOWN .....	- 1 -
1.2.6 BAHRIA SERVICES .....	- 1 -
1.2.7 BASEMENT .....	- 1 -
1.2.8 B.C.D.....	- 2 -
1.2.9 BOULEVARD .....	- 2 -
1.2.10 BUILDING HOUSE LINE.....	- 2 -
1.2.11 BUILDING PLAN.....	- 2 -
1.2.12 CHIEF ARCHITECT.....	- 2 -
1.2.13 COMMERCIAL AREA.....	- 2 -
1.2.14 CORNER PLOT .....	- 2 -
1.2.15 COVERED AREA .....	- 2 -
1.2.16 CLIENTS FACILITATION CENTER (CFC) .....	- 2 -
1.2.17 DESIGN WING .....	- 2 -
1.2.18 DETACHED BUILDING.....	- 2 -
1.2.19 EXISTING BUILDING .....	- 3 -
1.2.20 FRONT ELEVATION.....	- 3 -
1.2.21 FLOOR AREA RATIO (FAR) .....	- 3 -
1.2.22 FOOTPRINT .....	- 3 -
1.2.23 FOUNDATION.....	- 3 -
1.2.24 FRONTAGE OF A CORNER PLOT .....	- 3 -
1.2.25 HEIGHT OF BUILDING .....	- 3 -
1.2.26 LICENSED ARCHITECT.....	- 3 -
1.2.27 LICENSED ENGINEER .....	- 3 -
1.2.28 LICENSED TOWN PLANNER.....	- 3 -
1.2.29 MANAGEMENT .....	- 3 -
1.2.30 MASONRY .....	- 3 -
1.2.31 MARLA .....	- 3 -
1.2.32 MASTER PLAN .....	- 4 -
1.2.33 NON CONFORMING USE.....	- 4 -
1.2.34 OWNER .....	- 4 -
1.2.35 PARAPET .....	- 4 -
1.2.36 PARTITION WALL .....	- 4 -
1.2.37 PERGOLA.....	- 4 -
1.2.38 PROJECTION.....	- 4 -
1.2.39 PLINTH .....	- 4 -
1.2.40 PUBLIC BUILDING.....	- 4 -
1.2.41 RESIDENTIAL BUILDING .....	- 4 -
1.2.42 SEPTIC TANK.....	- 4 -
1.2.43 SETBACK.....	- 4 -

1.2.44	SOP's .....	- 5 -
1.2.45	STRUCTURE ENGINEER .....	- 5 -
1.3	APPLICATION OF SOP'S .....	- 5 -
1.4	EXEMPTIONS .....	- 5 -
1.5	INTERPRETATION OF SOP'S .....	- 5 -
<b>2</b>	<b>RULES .....</b>	<b>- 5 -</b>
2.1	GENERAL .....	- 5 -
2.2	AUTHORIZED USE .....	- 5 -
2.3	BEARING CAPACITY TEST.....	- 5-
2.4	BLASTING .....	- 5 -
2.5	BLOCKAGE OF STREET: .....	- 5 - 6 -
2.6	BUILDING CONTROL DEPARTMENT.....	- 6 -
2.7	COMMERCIAL ACTIVITY .....	- 6 -
2.8	CONTRACTOR.....	- 6 -
2.9	CONCRETE SLUMP TEST .....	- 6 -
2.10	CURING OF BUILDINGS WHEREVER ADJACENT BUILDINGS EXIST .....	- 6 -
2.11	CURING .....	- 6 -
2.12	DAMAGES.....	- 6 - 7 -
2.13	DANGEROUS BUILDINGS .....	- 7 -
2.14	DEPARTMENTAL BYE LAWS .....	- 7 -
2.15	PLOT LEVELS .....	- 7 -
2.16	DISPUTES.....	- 7 -
2.17	STORM WATER DRAINS IN FRONT OF HOUSES.....	- 7 -
2.18	DUCTS .....	- 7 -
2.19	ELECTRIC & WATER CONNECTIONS.....	- 7 -
2.20	FRONT ELEVATIONS/ FACADES .....	- 7 - 8 -
2.21	EXTERIOR FINISHES .....	- 8 -
2.22	GRAVE YARD PHASE-IV(POLICY CHANGE BY BAHRIA SERVICES).....	- 8 - 9 -
2.23	GRAVE YARD SAFARI VALLEY(POLICY CHANGE BY BAHRIA SERVICES) .....	- 9 -
2.24	GREENERY AND VEGETATION – HORTICULTURE .....	- 9-
2.25	LOCATION OF ELECTRICITY & SUI GAS METERS .....	- 9 -
2.26	MOBILE PHONE TOWERS .....	- 9 -
2.27	PET KEEPING.....	- 9 -
2.28	HANGING OF CLOTHES.....	- 10
2.29	PLUMBING MATERIALS .....	- 10 -
2.30	RAIN WATER HARVESTING .....	- 10 -
2.31	RAMP AND TOILET FOR DISABLED PERSONS .....	- 10 -
2.32	SECURITY CHECK POST .....	- 11 -
2.33	SERVICE/SEPARATION LANES.....	- 11 -
2.34	SERVICES .....	- 11 -
2.35	SEWERAGE/MANHOLES.....	- 11-12 -
2.36	SEPTIC TANKS .....	- 12 -
2.37	SOLID WASTE MANAGEMENT .....	- 12 -
2.38	SLEEVES UNDER RAMP .....	- 12 -
2.39	TELCOMM/GAS SERVICES .....	- 12 -
2.40	TEMPERING/UNAUTHORIZED ELECTRIC METERS .....	- 13 -
2.41	TEMPORARY WASH ROOMS.....	- 13 -
2.42	TERMITE PROOFING.....	- 13-
2.43	UTILITY CONNECTIONS.....	- 13 -



2.44	UNDERGROUND WATER .....	- 13 -
2.45	UNDER GROUND/OVERHEAD WATER TANK .....	- 13-14 -
2.46	WATER SUPPLY.....	- 14 -
2.46.1	BREAKUP OF WATER CONSUMPTION.....	- 14-15
2.47	USE OF RESIDENTIAL BUILDINGS .....	- 15 -
2.48	SPIRAL STAIR CASE IN SETBACKS.....	- 15-
2.49	STRUCTURE STABILIT .....	- 15-
<b>RESIDENTIAL</b>		<b>-16-</b>
3	RESIDENTIAL.....	- 17 -
3.1	MANDATORY OPEN SPACES (RDA) .....	- 17 -
3.1.1	PROJECTS .....	- 17 -
3.1.2	MANDATORY OPEN SPACES: PROJECTS (CDA) .....	- 18 -
3.2	HEIGHT OF BUILDINGS .....	- 19 -
3.3	CEILING HEIGHT .....	- 19 -
3.4	CHAMFERING OF CORNER PLOTS.....	- 19 -
3.5	DEAD WALLS .....	- 19 -
3.6	MERGER /AMALGAMATION OF PLOTS.....	- 19-20 -
3.6.1	PERMANENT MERGER/AMALGAMATION OF PLOTS.....	- 20-21 -
3.6.2	SWIMMING POOLS IN SETBACKS.....	- 22 -
3.7	SIZE OF PLOT.....	- 22 -
3.7.1	OVER/UNDER SIZE PLOTS.....	- 22 -
3.7.2	ANNEXATION OF ADJACENT EXTRA LAND .....	- 22 -
3.8	SOLAR PANEL .....	-22-
3.9	SUB DIVISION OF PLOTS .....	- 23 -
3.10	COVERED AREA .....	- 23 -
3.11	ENTRY GATE(S) .....	- 23 -
3.12	FACADES/FRONT ELEVATIONS OF BUILDINGS.....	- 23-24 -
3.12 A	GARDEN CITY-FIXED ELEVATIONS .....	- 24-
3.13	MUMTY .....	- 24 -
3.14	NUMBER OF STOREYS.....	- 24 -
3.15	PARAPET WALL.....	- 25 -
3.16	BALCONY.....	- 25 -
3.17	BOUDARY WALL.....	- 25 -
3.18	BASEMENT .....	- 25-26-
3.18.1	DOUBLE BASEMENT .....	- 26-27-
3.19	PORCH.....	-27-28 -
3.20	PROJECTIONS .....	- 28 -
3.21	ROOF TOP .....	- 28 -
3.22	RAMPS.....	- 28-29 -
3.23	SIZE OF ROOMS .....	- 29 -
3.24	CONSTRUCTION OF 40 sft IN REAR SPACE FOR PLOT SIZE 5M,8M, AND 10 MARLA IN RDA AND MCR ONLY ...-	29-
3.25	SHADE ON 40SFT AT REAR SETBACK.....	- 30 -
3.26	PERGOLA .....	- 30 -
3.27	PLOTS AT THE EDGE OF SLOPES.....	- 30 -
3.28	BOUNDARY WALL FOR PLOS HAVING LEVEL DIFFERENCE / SLOPE.....	- 30 -
3.29	RETAINING WALLS.....	- 30 -
3.30	FARM HOUSES (RDA/DC/MC JURISDICTION). .....	- 30-31 -
3.31	FARM HOUSES (CDA JURISDICTION). .....	- 31-32 -
3.32	CONSULTANCY SERVICES & FEE STRUCTURE FOR RESIDENTIAL BUILDINGS .....	- 33 -

3.32.1	TIME SCHEDULE (ARCHITECTURAL & MEP DRAWINGS ONLY): .....	- 33 -
3.32.2	DESIGN PROCESS .....	- 33 -
3.32.3	DESIGN PAYMENTS.....	- 34-35-36-37-
3.32.4	MISC. PAYMENTS & ACCOUNTS DETAIL .....	-37-38-
3.32.5	MUMTY AREA EXTENSION-PAYMENT DETAILS .....	- 38-
3.32.6	DOCUMENTS REQUIRED TO INITIATE WORK (IMPORTANT INFORMATION).....	- 38-39 -
3.32.7	REQUIREMENT OF DOCUMENTS FOR SUBMISSION FROM CLIENTS IN RDA/CDA .....	- 39-40 -
3.32.8	NOC FOR EXECUTION (CIVIL WORKS) .....	- 40 -
3.32.9	IMPORTANT INFORMATION .....	- 40-41 -
3.32.10	FINAL COMPLETION TO OCCUPY BUILDINGS.....	- 41-42-
	<b>FOR COMPLAINTS IN DESIGN WING</b> .....	- 42 -
3.32.11	CONSULTANTS (GEO TECH & STRUCTURES) .....	-43-44-45-46-47-48-49-
	<b>UNDERTAKING</b> .....	-50-51-52-53-54-55-56-57-
	<b>SOP'S UPDATER PAPER</b> .....	-58-
4	COMMERCIAL APARTMENTS/CONDOMINIUMS .....	- 59 -
4.1	CDA JURISDICTION AREA.....	- 59 -
4.1.1	RAMP AND TIOLET FOR DISABLED PERSONS.....	- 60-
4.1.3	MISCELLANEOUS .....	- 60-
4.2	RDA JURISDICTION .....	- 60 -
4.2.1	MANDATORY SPACES.....	- 60 -
4.2.2	BUILDING HEIGHT .....	- 61-
4.2.3	GROUND COVERAGE AND FLOOR AREA RATIO (F.A.R).....	- 61 -
4.2.4	OWNERSHIP RIGHTS OF ALLOTTEE(S) IN APARTMENTS .....	- 62 -
4.2.5	OTHER DESIGN PARAMETERS .....	- 62 -
4.3	BYE-LAWS FOR MULTI STOREY APARTMENT BUILDINGS SCHEMES (CDA) .....	- 62 -
4.4	RAMP AND TOILET FOR DISABLED PERSONS .....	- 63 -
5	COMMERCIALS .....	- 63 -
5.1	CENTRAL BUSINESS DISTRICT (RDA).....	- 63 -
5.1.1	MANDATORY OPEN SPACES.....	- 63 -
5.1.2	SETBACK ON UPPER FLOOR .....	- 64-
5.2	MAIN CIVIC AND COMMERCIAL CENTERS & NEIGHBORHOOD COMMERCIAL AREAS (RDA).....	- 64 -
5.2.1	MANDATORY OPEN SPACES.....	- 64 -
5.2.2	ALLOWED COVERAGE, FAR, NO. OF STOREY, HEIGHT, PLOT SIZE .....	- 64-65 -
5.2.3	BASEMENT FOR COMMERCIAL PLOTS .....	- 65 -
5.3	COMMERCIAL (CDA).....	- 65- -
5.3.1	MARAKIZ .....	- 65-66-67 -
5.3.2	SPECIAL REQUIREMENTS FOR PLOT PLANNED FOR 100 % COVERAGE.....	- 67 -
5.4	NEIGHBORHOOD COMMERCIAL CENTER (CDA) .....	- 68 -
5.4.1	SPECIAL REQUIREMENTS FOR PLOT PLANNED FOR 100 % COVERAGE.....	- 68 -
5.5	BYE LAWS FOR CONSTRUCTION OF COMMERCIAL BUILDINGS ON MAJOR AVENUES/ROADS OF APPROVED COOPERATIVE HOUSING SOCIETIES/PRIVATE HOUSING SCHEMES IN ZONE-II, IV, V (CDA) .....	- 68-69 -
5.6	MISCELLANEOUS .....	- 69 -
5.6.1	HOARDINGS .....	- 70 -
5.6.2	RAMPS AND STAIR CASES.....	- 70 -
5.6.3	FINISH FLOOR LEVEL.....	- 70 -
5.6.4	LIFTS .....	- 70 -
5.6.5	SUPPORTING COLUMNS.....	- 71 -
5.6.6	SOLAR PANNEL .....	- 71 -

5.6.7	WIRE MESH SHUTTER .....	- 71 -
5.6.8	HANDICAP ACCESS .....	- 71 -
5.6.9	BUSINESS MANAGEMENT ROOM (BMR).....	- 71 -
5.6.10	ELECTRIC GEYSERS.....	- 71 -
5.6.11	PROJECTIONS .....	- 71 -
5.6.12	CEILING HEIGHT .....	- 71 -
5.7	MUMTY .....	- 71-72-
5.8	STRUCTURES ON ROOFS.....	- 72 -
5.9	DESIGN & STRATEGIES S.O.P's .....	- 72-73 -
5.10	RAMP AND TOILET FOR DISABLED PERSONS .....	- 73 -
5.11	SOLID WASTE MANAGEMENT .....	- 73 -
5.12	INSTRUCTIONS FOR SHOP OWNERS.....	- 74 -
5.13	CHAMFERING OF CORNER PLOTS.....	- 74 -
5.14	CNG / PETROL FILLING STATIONS (RDA) .....	- 74-75 -
5.15	CNG / PETROL FILLING STATIONS (CDA) .....	- 75 -
5.16	MARQUEE PLOT (RDA).....	- 75-76 -
5.17	THEATER, CLUBS & MARRIAGE HALLS (RDA) .....	- 76 -
5.18	MARQUEE PLOT (CDA).....	- 76-
5.19	STANDARDS FOR SERVICE STATION (RDA/CDA).....	- 76-77-
5.20	BUILDING HEIGHTS / NO OF FLOORS / FAR / GROUND COVERAGR FOR COMMERCIAL UNITS BAHRIA TOWN RWP/ ISB PROJECTS.....	-78-79-
5.21	DESIGN PROCESS AND FEE STRUCTURE .....	- 80 -
5.21.1	TIME SCHEDULE (ARCHITECTURAL PLANS ONLY) .....	- 80 -
5.21.2	DESIGN PROCESS .....	- 80 -
5.21.3	SCENARIO 1: DESIGN (PAYMENTS) .....	- 81-82-83-
5.21.3.1	FOR BUSINESS DISTRICT PLOTS .....	- 84-
5.21.4	SCENARIO 2: DESIGN APPROVAL (PAYMENTS).....	- 84-85 -
5.21.5	DESIGN CHARGES REVISION, PAYABLE AFTER FINALIZATION (ISSUANCE) OF ARCHITECTURAL PLANS-	85 -
5.21.6	SITUATION 4: For Duplicate and Rename set, Mandatory fee in case plaza is not constructed (Payment not applicable if already made).....	- 86-
5.21.7	MISCELLANEOUS PAYMENTS.....	- 86 -
5.21.8	DOCUMENTS REQUIRED TO INITIATE/APPROVE DESIGNS .....	- 86-87 -
5.21.9	NOC FOR EXECUTION (CIVIL WORKS) .....	- 87-
5.21.10	IMPORTANT INFORMATION .....	- 87-88-
5.21.11	PERMISSIBLE NO. OF FLOOR FOR DIFFERENT COMMERCIAL CENTERS .....	- 88-
5.21.12	FINAL NOC TO OCCUPY BUILDINGS .....	- 88-89 -
	<b>FOR COMPLAINTS IN DESIGN WING</b> .....	-89-
5.22	CONSULTANTS (GEO TECH.,STRUCTURES & MEP) .....	- 90-91-92-93-94-95-96-
5.23	APPROVAL PROCESS AND FEES FOR HIGH RISE BUILDINGS (APARTMENTS AND COMERCIALS).....	-97 -
5.23.1	STEP 1: SUBMISSION OF OWNERSHIP DOCUMENTS AND ARCHITECTURAL PLANS .....	- 97 -
5.23.2	STEP 2: SUBMISSION OF SOIL REPORT, STRUCTURAL AND MEP DESIGNS .....	- 97-98-99-100-
5.23.3	STEP 3: NOC FOR EXECUTION (CIVIL WORKS).....	- 100-
5.23.4	STEP 4: FINAL NOC TO OCCUPY BUILDINGS.....	- 100 -
	UNDETAKINGS /COMPLETION NOC's, TELECOM & GAS SERVICES.....	101-102-103-104-
<b>6</b>	<b>SCHOOL BUILDINGS</b> .....	- <b>105</b> -
6.1	APPROVAL PROCESS.....	- 105 -
6.1.1	STEP 1: APPROVAL OF ARCHITECTURAL PLANS .....	- 106 -
6.1.2	STEP 2: SUBMISSION OF SRUCTURAL AND MEP DRAWINGS .....	- 105-106 -
6.1.3	STEP 3: NOC FOR EXECUTION .....	- 106 -

6.1.4	STEP 4: FINAL NOC TO OCCUPY BUILDINGS .....	- 106 -
6.2	BUILDING BYE-LAWS .....	- 106 -
6.2.1	SETBACKS/FAR/GROUND COVERAGE (RDA) .....	- 107 -
6.2.2	REVISION OF BUILDING BYE-LAWS OF PLOTS FOR EDUCATION ZONE-II, IV & V (CDA) .....	- 107 -
6.2.2.1	BYLAWS FOR PLOT MEASURING UPTO 1.5 ACRES .....	- 107 -
6.2.2.2	BYLAWS FOR PLOTS OF SIZE MORE THEN 1.5 ACRES .....	- 108 -
	UNDETAKINGS .....	109-110-111-
<b>7</b>	<b>HOSPITAL BUILDINGS .....</b>	<b>- 112 -</b>
7.1	APPROVAL PROCESS.....	- 112 -
7.1.1	STEP 1: APPROVAL OF ARCHITECTURAL PLANS: .....	- 112
7.1.2	STEP 2: SUBMISSION OF STRUCTURAL AND MEP DRAWINGS: .....	- 112
- 7.1.3	STEP 3: NOC FOR EXECUTION: .....	- 113
- 7.1.4	STEP 4: FINAL NOC TO OCCUPY BUILDINGS: .....	- 113 -
7.2	BUILDING BYE-LAWS FOR CONSTRUCTION OF HOSPITALS (RDA) .....	- 113 -
7.2.1	SET BACKS/ F.A.R. /GROUND COVERAGE:.....	- 113-114 -
7.3	BUILDING BYE-LAWS FOR CONSTRUCTION OF HOSPITALS (CDA) .....	- 114 -
7.3.1	Basements:.....	- 114 -
7.3.2	CAR PARKING .....	- 114-
7.3.3	Fence / compound Wall: .....	-114 -
7.3.4	WHO Standards: .....	- 114 -
7.3.5	Disposal of Garbage and solid Waste: .....	- 114 -
<b>8</b>	<b>STRUCTURAL DESIGN REQUIREMENTS .....</b>	<b>- 115 -</b>
8.1	MULTI-STOREY BUILDINGS.....	- 115
8.1.1	EARTHQUAKE RESISTANT DESIGN.....	- 115 -
8.1.2	STRUCTURAL/ENGINEERING DESIGN.....	- 115 -
8.1.3	CODES AND STANDARDS.....	- 115-116 -
8.1.4	UNIT WEIGHT OF STRUCTURAL MATERIALS .....	- 116 -
8.1.5	DESIGN STRENGTH OF MATERIALS .....	- 116 -
8.1.6	STRUCTURAL DRAWINGS.....	- 116-117 -
8.2	HOUSES (COMPOSITE STRUCTURE) .....	- 117 -
8.2.1	MATERIAL.....	- 117 -
8.2.2	FOUNDATION .....	- 117 -
8.2.3	HORIZONTAL REINFORCEMENT IN WALLS.....	- 118 -
8.2.4	VERTICAL REINFORCEMENT .....	- 118 -
8.3	SITES.....	- 118 -
8.3.1	BUILDING SITES .....	- 118 -
8.3.2	BOUNDARY WALL.....	- 118 -
8.4	FOUNDATIONS .....	- 118 -
8.4.1	GEO-TECHNICAL INVESTIGATION.....	- 118 -
8.4.2	FOUNDATIONS NEAR DRAIN.....	- 118
8.4.3	STRUCTURAL CALCULATIONS.....	- 118 -
8.4.4	DAMP PROOF COURSE .....	- 118 -
8.4.5	BASEMENT .....	- 119 -
8.5	STAIR CASES AND LIFTS .....	- 120 -
8.5.1	STAIR CASES SPECIFICATIONS .....	- 120 -
8.5.2	LIFTS .....	- 119 -
8.6	DESIGN REQUIREMENTS FOR BTS/TOWERS/ANTENNAS .....	- 119-120 -
8.7	CONSULTING ENGINEERS REQUIREMENTS .....	- 120 -

<b>9</b>	<b>PARKING REQUIREMENTS .....</b>	<b>- 120 -</b>
9.1	GENERAL .....	- 120 -
9.2	PARKING SPACE STANDARDS .....	- 120 -
9.2.1	APARTMENT BUILDINGS .....	- 120 -
9.2.2	OFFICES, COMMERCIAL INCLUDING LARGE STORES & RETAIL SHOPS, HOSPITALS & EXHIBITION HALLS .....	- 121 -
9.2.3	HOTELS.....	- 121 -
9.2.4	RESTAURANTS, CLUBS& CAFES .....	- 121 -
9.2.5	HOSPITALS .....	- 121-
9.2.6	MARRIAGE HALLS, BANQUET HALLS & COMMUNITY CENTERS.....	- 121 -
9.2.7	CINEMA, THEATRES & CONCERT HALL.....	- 121 -
9.2.8	POST OFFICES & POLICE STATIONS .....	- 121 -
9.2.9	SCHOOLS, COLLEGES AND EDUCATIONAL INSTITUTIONS .....	- 121 -
9.2.10	MOTOR CYCLES .....	- 121 -
9.3	PARKING SPACES SPECIFICATIONS .....	- 121 -
9.3.1	CALCULATING THE PARKING REQUIREMENTS .....	- 121 -
9.3.2	FLOOR HEIGHT .....	- 122 -
9.3.3	PARKING GEOMETRY .....	- 122 -
9.3.4	VENTILATION & FIRE PROTECTION IN PARKING AREA.....	- 122 -
9.3.5	LIGHTING ARRANGEMENT .....	- 122 -
9.3.6	BASEMENT, RAMP, PARKING .....	- 122-123 -
9.3.7	SIGNAGE.....	- 123-
9.3.8	CONSTRUCTION OF PARTITION WALLS.....	- 123 -
9.3.9	INCENTIVE FOR PROVISION OF ADDITIONAL PARKING.....	- 123- 124 -
<b>10</b>	<b>FIRE RESISTANCE AND FIRE PRECAUTIONS .....</b>	<b>- 125 -</b>
10.1	GENERAL .....	- 125 -
10.2	SPECIAL BUILDINGS .....	- 125 -
10.3	FIRE PRECAUTIONS IN AIR-CONDITIONING SYSTEM .....	- 125 -
10.4	FIRE EXTINGUISHING.....	- 125-126 -
10.5	FIRE DRILLS .....	- 126-127 -
10.6	EMERGENCY EXIT SPECIFICATIONS .....	- 127 -
10.6.1	MEANS OF ESCAPE IN CASE OF EMERGENCY.....	- 127-128 -
<b>11</b>	<b>ELECTRICITY DISTRIBUTION NETWORK.....</b>	<b>- 129 -</b>
11.1	RESIDENTIAL DEMAND CRITERIA .....	- 129-
11.1.1	1,000 SQY. & ABOVE.....	- 129 -
11.1.2	500 SQY.....	- 129 -
11.1.3	250 SQY.....	- 129-130 -
11.1.4	125 SQY.....	- 130 -
11.1.5	75 SQY.....	- 130 -
11.2	COMMERCIAL CENTERS .....	- 130- 131 -
11.3	APARTMENTS .....	- 131 -
11.4	PARKS PLAY GROUNDS AND STADIUMS.....	- 131 -
11.5	ELECTRICITY METERS IN COMMERCIAL & APARTMENT AREAS .....	- 131 -
11.6	ELECTRICAL LOAD.....	- 131-
11.7	DESIGN VETTING OF MEP DRAWING .....	- 131-132-
<b>12</b>	<b>REGULATIONS.....</b>	<b>- 133 -</b>
12.1	ALUMINUM/UPVC WINDOWS .....	- 133 -
12.2	APPROVED DRAWINGS: .....	- 133 -

12.3	BAY WINDOW .....	- 133 -
12.4	BOUNDARY WALL.....	- 133 -
12.5	USE OF PRE-MIX CONCRETE .....	- 133 -
12.6	ELECTRIC CONNECTION.....	- 133-134 -
12.7	USE OF OXO-BIODEGRADABLE D2W PLASTIC BAGS .....	- 134 -
12.8	PLACEMENT OF STAND BY GENERATORS .....	- 134-
12.9	THROWING OF WASTE MATERIAL OTHER THAN KITCHEN WASTE.....	- 134 -
12.10	USE OF SERVICE AREA OTHER THAN SOFT PLANTATION .....	- 134 -
12.11	WASHING OF VEHICLES ON ROAD/PORCH .....	- 134 -
12.12	ABIDING FOOD SAFETY GUIDELINES .....	- 134 -
12.13	EXTRA LAND ENCHROCHEMENT .....	- 134 -
12.14	DAMAGES.....	- 134 -
12.15	CONSTRUCTION/ADDITIONS/ALTERATIONS.....	- 134 -
12.16	CONSTRUCTION PERIOD .....	- 134-135 -
12.17	CONSTRUCTION WASTE/EXCAVATED MATERIAL.....	- 135 -
12.18	CLEAR SPACE AROUND TRANSFORMERS .....	- 135 -
12.19	SOP'S ENFORCEMENT.....	- 135-136 -
12.20	INSPECTION STAGES (RESIDENTIAL BUILDINGS) .....	- 136-137 -
12.21	INSPECTION STAGES (COMMERCIAL BUILDINGS) .....	- 137-138 -
12.22	INSPECTION CARD .....	- 138 -
12.23	DEMARCATON OF PLOT .....	- 138-139 -
12.24	DISPOSAL OF DEBRIS/CONSTRUCTION WASTE .....	- 139 -
12.25	OVERSIGHT IN SCRUTINY OF DRAWINGS .....	- 139 -
12.26	POSSESSION OF PLOTS .....	- 139 -
12.27	FINAL NOC.....	- 139 -
12.28	DEMOLISH POLICY.....	- 139-140 -
12.29	OCCUPATION OF HOUSE/COMMERCIAL UNITS .....	- 140 -
12.30	PREROGATIVE OF MANAGEMENT.....	- 140 -
12.31	PRIVACY .....	- 140 -
12.32	HIRING OF HOUSE .....	- 140 -
12.33	VEHICLES STICKERS .....	- 140 -
12.34	RASH/UNSAFE DRIVING .....	- 140 -
12.35	SERVANT PASSES.....	- 140 -
12.36	HAZARDOUS MATERIALS/CHEMICALS .....	- 141 -
12.37	GENERATORS.....	- 141 -
12.38	CANCELLATION OF NOC .....	- 141 -
12.39	PROVISION OF TELECOM SERVICES RO UNDER CONSTRUCTION HOUSES AND COMMERCIAL PLAZAS ....	- 141-
13	<b>HEALTH AND SAFETY GUIDLINES .....</b>	<b>- 141-142 -</b>
	TEMPORARY MERGER OF COMMERCIAL UNITS.....	-143-144
	FINES AND PEALTIES.....	145-146-147-
	MERGER OF RESIDENTIAL PLOTS .....	-148-
	TEMPORARY MERGER OF RESIDENTIAL PLOTS/HOUSES .....	-149-
	UNDERTAKINGS.....	150-151-152-153-154-155-156-157-
	MUMTY EXTENSIONS .....	-158-
	Design charges- Paradise & Gateway (Payments).....	-159-
	FLOWCHART RESIDENTIAL (EGNLISH & URDU) .....	-160-161-
	FLOWCHART COMMERCIAL (EGNLISH & URDU).....	-162-163-

Note: SOP's will be updated on monthly basis.

## 1 GENERAL

Chairman Bahria Town (Pvt.) Ltd. has approved the under mentioned SOP's 2009-2010 and is amended from time to time (last amended in 2023-2024).

### PRELIMINARIES

#### 1.1 SHORT TITLE, EXTENT AND COMMENCEMENT

These rules shall be called Bahria Town "**STANDARD OPERATING PROCEDURES(FOR DESIGNING, EXECUTION, MONITORING & OPERATIONS, OF BUILDINGS) 2020 - 2021**".

- Are applicable and extended to all the Bahria Town (Pvt.) Ltd. projects with variations specific to each location and project.
- Shall come into force at once.

#### 1.2 GLOSSARY OF TERMS

In these SOP's and in future rules that shall be issued from time to time, frequently used terms have the meanings as indicated below. Where any term is not defined it shall have ordinary meanings or such as the context may apply.

##### 1.2.1 ADDITION / ALTERATION / REVISION IN PLAN

Means changes in already existing building or in approved building plan.

##### 1.2.2 APARTMENT

Means an independent residential unit in a building consisting of at least one bedroom, a living room, a bathroom, a kitchenette and a store.

##### 1.2.3 ARCADE

A covered walk-way or a verandah between the shops and the road or street on which the shop abuts.

##### 1.2.4 BALCONY

A roof or platform projecting from the walls of the building surrounded with a railing or parapet walls.

##### 1.2.5 BAHRIA TOWN

Means the management and area of operation of all projects of the Bahria Town (Pvt.) Ltd. including any modification/extension affected therein from time to time.

##### 1.2.6 BAHRIA SERVICES

A department of the Bahria Town dedicated to provide services/guidance prior to/during and after construction. It is also responsible to ensure trouble free, healthy & secure living to the residents of Bahria Town.

##### 1.2.7 BASEMENT

A structure wholly or partly below the road level.

- 1.2.8 B.C.D**  
Building Control Department.
- 1.2.9 BOULEVARD**  
Roads with right of way 60 ft. or more will be considered as Boulevard.
- 1.2.10 BUILDING HOUSE LINE**  
Line beyond which the outer face of any building except boundary wall shall not be extended.
- 1.2.11 BUILDING PLAN**  
Plan showing detailed drawings for intended building to be constructed on allotted plot as approved/vetted by Sr. Chief Architect-Residential, Chief Architect-Commercial/Consultant Structural Engineer & MEP Consultant.
- 1.2.12 CHIEF ARCHITECT**  
A licensed architect, employed by Bahria Town for preparation and vetting/approval of building plans.
- 1.2.13 COMMERCIAL AREA**  
Means an area where shops, hotels, clubs, petrol, gas filling stations and any other commercial buildings etc. are to be constructed.
- 1.2.14 CORNER PLOT**  
Means a plot situated at the intersection of two vehicular streets and declared as "Corner Plot" by Planning & Design Wing of Bahria Town (Pvt.) Ltd. Corner plots may have odd dimensions and areas.
- 1.2.15 COVERED AREA**  
The sum of the gross horizontal areas of the floor/floors, including porch, verandas, 25 percent of pergolas, basement, vaults, cellars and overhanging eaves.
- 1.2.16 CLIENTS FACILITATION CENTER (CFC)**  
To facilitate clients in the design process, construction work and obtaining utility connections a Clients Facilitation Center (CFC) is established in the **Corporate-2 Office Building/PHASE VIII**. One Window Operation exists for facilitation.
- 1.2.17 DESIGN WING**  
Means office of the Bahria Town where designing (Architectural) services are available for Residential & Commercial plots.
- 1.2.18 DETACHED BUILDING**  
Either of two buildings constructed on adjacent plots completely separated by masonry work.



**1.2.19 EXISTING BUILDING**

A building existing on the date of commencement of construction.

**1.2.20 FRONT ELEVATION**

Exterior façade of building, facing the main street.

All motifs, railings and boards installment welding should be verified by concerned structure engineer.

**1.2.21 FLOOR AREA RATIO (FAR)**

Total covered area of building (excluding basement) divided by the total area of the plot.

**1.2.22 FOOTPRINT**

The portion of a plot of land covered at any level by a building or part thereof other than basement.

**1.2.23 FOUNDATION**

Structure designed to bear and distribute the load of a building onto the ground through R.C.C. columns, pillars, beams or walls.

**1.2.24 FRONTAGE OF A CORNER PLOT**

Frontage of a corner plot (opening on more than one street) with reference to the Street No as per the Allotment/Numbering.

**1.2.25 HEIGHT OF BUILDING**

Height of building shall be the vertical measurement from the front road level to the highest part of the roof.

**1.2.26 LICENSED ARCHITECT**

A person registered with PCATP as an Architect.

**1.2.27 LICENSED ENGINEER**

A person registered with P.E.C. as an Engineer.

**1.2.28 LICENSED TOWN PLANNER**

A person registered with PCATP as a Town Planner.

**1.2.29 MANAGEMENT**

Means the Management of Bahria Town.

**1.2.30 MASONRY**

Stone, bricks or cement concrete blocks laid in lime, cement or mud mortar.

**1.2.31 MARLA**

1 Marla will be equal to 225 Sft.

**1.2.32 MASTER PLAN**

A comprehensive plan to guide the long-term physical development of a particular area. It also addresses the land use, landscaping, infrastructure, circulation or services provision.

**1.2.33 NON-CONFORMING USE**

The use of a plot or structure for purpose other than authorized.

**1.2.34 OWNER**

Person to whom a plot has been allotted or transferred by the Bahria Town and duly mutated in the record.

**1.2.35 PARAPET**

Means a dwarf wall along the edge of a roof, balcony, verandah or terrace.

**1.2.36 PARTITION WALL**

Means a common wall between adjacent buildings independent plots.

**1.2.37 PERGOLA**

Means a structure with perforated roof consisting of cross bars in the form of reinforced concrete, wood or steel etc. of which 50% of roof is open to sky.

**1.2.38 PROJECTION**

Projection from the building Plan to provide protection form weather or sun.

**1.2.39 PLINTH**

The portion of building between the level of the street or road and the level of the ground floor.

**1.2.40 PUBLIC BUILDING**

Building designed for public use such as mosque, hospital, post office, town hall, library or club etc.

**1.2.41 RESIDENTIAL BUILDING**

Building designed/authorized for residential occupancy.

**1.2.42 SEPTIC TANK**

A tank constructed inside the plot for collection & decomposition of sewerage before it is being discharged into public sewer or soakage pit.

**1.2.43 SETBACK**

Mandatory Space required to be left open between the building and the plot line without any obstruction.

**1.2.44 SOP's**

"STANDARD OPERATING PROCEDURES (FOR OPERATIONS, DESIGNING, EXECUTION AND MONITORING OF BUILDINGS) 2023-2024".

**1.2.45 STRUCTURE ENGINEER**

A Licensed Engineer, consultant registered with Bahria Town for vetting/approval of structural design of a building.

**1.3 APPLICATION OF SOP'S**

1. Every person who, within the limits of Bahria Town, intends to carry out addition or alteration to existing building or demolish the existing building or erects or re-erects a building shall comply with the requirement of these SOP's.
2. A building plan shall be approved only for the specified purpose of the plot mentioned in allotment letter.

**1.4 EXEMPTIONS**

Application of these bylaws can be relaxed by provided there is sound justification from engineering, town planning, architecture and all other relevant aspects.

**1.5 INTERPRETATION OF SOP'S**

In case of any ambiguity in interpretation, Bahria Town reserves the right to deliver / implement the interpreted contents SOP's.

**2 RULES****2.1 GENERAL**

These rules have been framed to facilitate/guide the members who intend to carry out construction works in Bahria Town Rawalpindi/Islamabad.

**2.2 AUTHORIZED USE**

A building shall be used only for the authorized purpose. A non-conforming use of a building may render the owner and the occupant of the building liable to penalty and eviction from the building (as devised by Management). The allotment/purchase deed of the plot may also be cancelled.

**2.3 BEARING CAPACITY TEST**

Bearing capacity test (At least two bore holes) should be done before the structural design of the buildings.

**2.4 BLASTING**

Blasting is not allowed in Bahria Town.

**2.5 BLOCKAGE OF STREET:**

1. No part of any street shall be used in connection with the construction, repair or

demolition of any building without prior written permission of Bahria Town. However, street will not be blocked under any circumstance.

2. No excavation shall be made in any street for utility without prior permission from Bahria Town.
3. Defaulters will have to pay charges as per Bahria Town SOP's.

## 2.6 **BUILDING CONTROL DEPARTMENT**

Client will be responsible to get his construction work checked by Building Control Department as per issued **Inspection Card**. Fine shall be charged as per existing rules for any violation of SOP's.

## 2.7 **COMMERCIAL ACTIVITY**

Commercial activities are not allowed in residential units in Bahria Town.

Erection of commercial hoardings on, along or inside a plot/building in the residential zone is not permitted.

## 2.8 **CONTRACTOR**

The clients are advised to hire reputed contractors for construction, and ensure that contractor is well aware of Standard Engineering Practice involved in construction. There is no approved contractor of Bahria Town nor Bahria Town take the responsibility of contractors and their work done.

## 2.9 **CONCRETE SLUMP TEST**

To satisfy requirements of concrete strength, and to make sure that a consistent mixture of cement is being used during the process of construction, Slump test shall be performed on site by the concerned contractor and shall be checked by Building Inspector.

(Allowable slump is 80mm, with variation of 15mm).

## 2.10 **CURING OF BUILDINGS WHEREVER ADJACENT BUILDINGS EXIST**

In case a building is already constructed and adjacent building is to be constructed, then all the measures shall be taken during construction/curing phase, so that, the water does not seep/penetrate into the adjacent buildings. This can be avoided by bitumen coating and polythene sheets. In case of any damages that may occur to the adjacent buildings, the rehabilitation works/expenses shall be borne by the violator.

## 2.11 **CURING**

Curing & quality of plaster concrete shall be the responsibility of client and contractor.

## 2.12 **DAMAGES**

Nobody is permitted to damage roads and services laid by Bahria Town. In case of extension of services; if any damage is likely to be caused to road, sewer line, drainage line etc., such work shall not be undertaken without prior approval of Bahria Town. In case of damages, the Bahria Town will impose penalties and cost of repair work will be recovered from member. Bahria Town also reserves the right to initiate

any punitive action as deemed necessary. Extra care shall be taken while digging, to avoid damage to the laid services.

### **2.13 DANGEROUS BUILDINGS**

Any building which is declared dangerous by the Structure Engineer of Bahria Town shall not be occupied until such building is re-declared safe for occupation.

### **2.14 DEPARTMENTAL BYE LAWS**

Users are obliged to observe the rules, regulations and instructions of the departments whose services are being utilized i.e., services / Telephone and Gas etc. For any reason, if the facilities being provided by the departments are delayed/disturbed/disconnected, Management shall not be responsible. However, effort will be made to have the services restored as soon as possible.

### **2.15 PLOT LEVELS**

Management will not be responsible for leveling the plot, should there be any ditch, unevenness or abnormality in the plot up to  $\pm 10$  ft.

### **2.16 DISPUTES**

Efforts shall be made to settle the disputes through mutual consent. However, the decision of the Management will be final and cannot be challenged at any forum.

### **2.17 STORM WATER DRAINS IN FRONT OF HOUSES**

The drains at the entrance of the houses shall be covered with perforated R.C.C. Slab up to the width of the Ramp. Rest of the drain shall be covered with Steel Grating, as per approved design from Planning Department. The design of Steel Grating shall remain same in all houses to ensure harmony in streetscape. The responsibility of pouring slabs and fixation of grating will be of client.

### **2.18 DUCTS**

All internal service lines shall be camouflaged with ducts having maximum opening of 2' X 2' at joints.

### **2.19 ELECTRIC & WATER CONNECTIONS**

1. Bahria Town is responsible for provision of Electric and Water Connections. Members shall submit application on prescribed forms to Bahria Services for Electric and Water Connections 15 days before start of construction.
2. Water connection shall not be shared at any cost.
3. Consumers shall extend water line from the point of Main Line water connection provided as per network design criteria.

### **2.20 FRONT ELEVATIONS/ FACADES**

The front elevations/facades/color scheme/materials of building are either fixed or the clients have to select from the design book. Moreover, the individuals are not

allowed to change the color scheme/material of the buildings. In case of repaint, permission will also be sought from the color consultant of Bahria Town (Pvt.) Ltd. AC outdoor units, Geysers, Fiber glass shades are not allowed on front and side of corner plots.

- 1- Fixed Elevation are mandatory to be followed as provided in approved drawings with exterior finishes and color scheme. In case of violations, penalty has to be paid along with rectification. Otherwise, completion certificate will not be processed.
- 2- Fixed Glazed tile is not allowed on the facade.
- 3- Any Kind of Tile, Stone, Rock Wall, Weather shield and Graphy paint or any other finish (Khaka) need prior approval from Design Wing. Clear glass for windows is allowed only. Any kind of colored glass is not allowed & needs prior approval from Design Wing. Hot Bitumen is allowed on Dead Wall only, Weather Shield/White Cement is not allowed.  
Please be notified that any changes made on site regarding elevation without approval will not be considered for Completion Certificate.  
It is mandatory to get approval of tuff tiles on ramp from Design Wing. No Marble is allowed on ramp. No stone allowed on kayari.
- 4- Any required MS material due to structure stability or as elevation element, is supposed to get maintained / painted each year with approval from Design Wing and record need to be maintained for Design Wing. In case of selling of house / building, this will be transferred to next owner. Skipping this will result in disconnection of Bahria Town Utilities from the maintenance department.
- 5- Grooves may be added in fixed elevations after approval from Design Wing
- 6- Areas having plot sizes of 5M,7M,8M have fixed elevations and should be followed strictly. These areas include Safari Valley, Phase 8 sectors.
- 7- Garden City zone 1-5 & 5A extension with built structures and open plots have also fixed elevations. Any kind of change in elevation is strictly not allowed.

## **2.21 EXTERIOR FINISHES**

Bahria Town's approved Color Scheme issued by Design Wing for Exterior Finishes of building shall be followed strictly. Temporary Fiber Glass Shades/AC outdoor units/Geysers are only allowed in the rear yards of the buildings which are not visible from road sides, parks and any other open area.

## **2.22 GRAVE YARD PHASE-IV (Policy change by Bahria Services)**

Ph. IV Graveyard is strictly (no exception) reserved for the bonafide residents (House Owners) of Phase I-VI, Safari-I, Safari-III and Executive Lodges as per following criteria.

1. Owner of house and his/her spouse.
2. Owner of Commercial unit in Phase I-VI, Safari (I & III), Executive Lodges and residing in Phase I-VI, Safari-I & III and Executive Lodges as tenant.
3. Parents (mother and father) of the owner of the house. In case of female owner of

the house, the parents of husband and wife both will eligible if permanently residing with son or daughter.

4. Children of the owner of the house.
5. Unmarried sisters dependent on the owner of the house.
6. Permanently adopted children (in special case).
7. For all other projects grave yards will be provided within or adjacent to respective projects.

### **2.23 GRAVE YARD SAFARI VALLEY (Policy change by Bahria Services)**

Safari Valley Graveyard is strictly (no exception) reserved for the bonafide residents (House Owners) of Phase VII & VIII, Safari valley/Homes, Hamlets, Springs Projects and Garden City as per following criteria.

1. Owner of house and his/her spouse.
2. Owner of commercial units in above mention projects and people residing in these projects as tenants.
3. Parents (mother and father) of the owner of the house. In case of female owner of the house, the parents of husband and wife both will eligible if permanently residing with son or daughter.
4. Children of the owner of the house.
5. Unmarried sisters dependent on the owner of the house.
6. Permanently adopted children (in special case).
7. For all other projects grave yards will be provided within or adjacent to respective projects.

### **2.24 GREENERY AND VEGETATION - HORTICULTURE**

1. Members are expected to help in plantation and protection of the trees/saplings.
2. Members can utilize service area only for plantation purpose. No hard planters/fountain/cages/Grill can be constructed in service area to make available this area for maintenance of services when needed.
3. Fences at green belt are strictly prohibited.
4. Fence is strictly not allowed, if erected penalty has to be paid along with its removal.

### **2.25 LOCATION OF ELECTRICITY & SUI GAS METERS**

Electricity Meters shall be installed adjacent to the Gate of the house whereas. Sui Gas meters shall be installed on the other side i.e., at the common walls of the twohouses.

### **2.26 MOBILE PHONE TOWERS**

No mobile phone Towers are allowed on roofs of the houses and commercial buildings.

### **2.27 PET KEEPING**

Keeping of pets is allowed in Bahria Town but they shall not be left unattended or unleashed. Permission and passes shall be obtained from BAHRIA SERVICES for pet keeping. Violators shall be penalized strictly.

## 2.28 HANGING OF CLOTHES

Fixing of strings on roof top/in front of the houses for hanging of clothes are not permitted. Moreover, the clothes will not be hanged at locations (Parapets, Terraces, railings) from where they are visible from roads/streets.

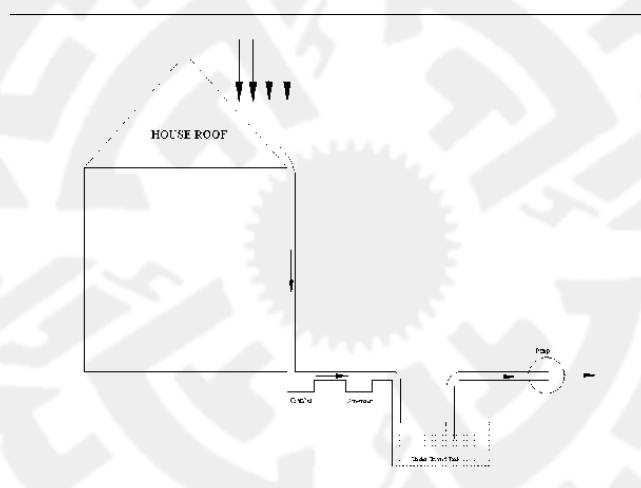
## 2.29 PLUMBING MATERIALS

Following are mandatory for plumbing components in all structures intended to be built in Bahria Town:

1. For Gas Supply, G.I. Pipes (ILL/JAMAL) shall be used only.
2. For Water Supply, pipes material shall be G.I. or P.P.R (ILL/JAMAL/DADEX).
3. For Sewage Lines/ pipes made of UPVC or R.C.C. shall be used (DADEX/ASTM STANDARD PIPES).

## 2.30 RAIN WATER HARVESTING

Installation of Rain Water Harvesting System will be encouraged in buildings of Bahria Town. Storm water runoff could be used for irrigation and washing purposes.



**Figure 2.1**

Sizes of Rain Water Tanks are as follows:

Sr. No	Plot Size	Tank Size
1.	5 & 8 Marla	N. A
2.	10 Marla	N. A
3.	1 Kanal	6'X5'X6'
4.	2 Kanal	8'X6'X6'

## 2.31 RAMP AND TOILET FOR DISABLED PERSONS

In all commercial buildings, public buildings and apartments a ramp of minimum 6 feet width and having maximum gradient of 1:6 should be provided. In case of no-provision of lifts, each floor should be accessible through this ramp. A toilet for disabled must also be provided.



**2.32 SECURITY CHECK POST**

Security check post within plot line up to maximum 5'x 5' will be allowed after approval from the competent authority. No check post will be allowed outside the house.

**2.33 SERVICE/SEPARATION LANES**

1. Service Lanes along and between two back-to-back plots are meant for utilities. Disposal of waste materials, garbage, trash etc. is strictly prohibited in the Service lanes.
2. Windows and vents are allowed in service lanes in case of dead walls after approval from Design-Wing Residential with undertaking (Annexure 3E attached with).
3. Gates are not allowed in Service Lanes.
4. Bahria town is not bound to pave the service lanes with asphalt or tough pavers.
5. Maximum allowable width of green belt outside residential plot is 5 ft. It will be kept as flowerbed and green with grass only. Rockery of hard planters are not allowed.

**2.34 SERVICES**

1. Bahria Town will provide roads, water supply, sewerage and electricity itself, Gas through Sui Northern and Telephone through PTCL departments.
2. House shall be planned keeping in view the existing services as these shall not be shifted. Location of porch is specific with reference to plot and is not optional.
3. Garbage Dustbin will be issued first time against utility connection charges, and second time will be issued on payment (Material will be provided by owner).
4. Electric meter with cable will be issued first time against connection charges and second time will be issued on payment.
5. All electrical, gas and water service meters are mandatory to be installed and related NOC's to be applied from Maintenance and submitted in Design Wing for completion.

**2.35 SEWERAGE/MANHOLES**

Main sewer line and one manhole per two plots will be provided by Bahria Town. The owners are only allowed to connect the internal sewerage system of a Building to the manhole provided in front of their houses. Moreover, during construction phase, the grinding material shall not be disposed of into the main sewerage system. House sewerage line shall be connected to the manhole after the completion of the house. Members shall construct their own septic tank and maintain it effectively in order to help in running the sewerage system efficiently. Salient features are:

1. Members shall apply for sewer connection on the prescribed form to Bahria Services.
2. Connection to the main sewer line shall be provided on completion of house.
3. Members shall not tamper the main sewer line. Defaulters are liable to pay penalty, as fixed from time, to time by the Management.
4. Termination of house sewer pipes in Manhole shall be done in presence of Bahria Services representative and pipes should be flushed inside Manhole.
5. Rain water/storm water is to be disposed of in open drains or on the adjacent roads

as per design of the said Phase. It should not be connected to the sewer lines.

6. Members are required to construct proper main holes and septic tanks (only RCC construction). However, Bahria Town can assist them by providing standard designs.
7. Where a resident/member excavates basement as per his requirement and decides to have bath rooms/toilets, the sewerage disposal will be through mechanical pumps by the resident.
8. Dewatering of basement in all cases will be responsibility of owner/supervising engineer.
9. Septic tank cleaning will be responsibility of owner in all cases.
10. Road cutting is not allowed for any kind of sewerage line by client.

### 2.36 SEPTIC TANKS

1. Septic tanks must be provided of R.C.C. in all residential plots and shall be connected to main sewer line. The sizes of septic tank shall be **4' x 8' X 4'**
2. Size of septic tanks for commercial and public buildings shall be as per requirements of WASA/Public Health Engineering Departments. Any violation in size will be penalized heavily.
3. Provision of septic tank in basement is mandatory with provision of mechanical lifting to septic tank on ground floor which will be connected to road sewer line.
4. Septic tank cannot be allowed with foundations, should be at minimum of 3'-0" distance from walls.

**Note:** Final NOC will not be issued prior to the completion of Septic Tank as per design.

### 2.37 SOLID WASTE MANAGEMENT / GARBAGE CHUTES

Refuse chutes shall be provided in multistory building for disposal of solid waste.

All buildings other than houses shall provide adequate storage space for storing of solid waste equal to at least 24 hours of generation.

1. Garbage chutes access, to be provided from common area, i.e. Corridors, hallways, etc.
2. Chutes need to be without any turns, should always be straight
3. All chutes need to have aluminum duct liners, properly sealed without any possibility of leakage.
4. Large storage containers need to be underneath the refusal area.  
It is the responsibility of owner / owner Management to transfer garbage to the building container and from there to the Bahria Town solid waste management area.
5. Garbage chutes are mandatory to be cleaned on regular basis  
All chutes require spraying of bacterial or insect killers inside the refusal or chute area.

### 2.38 SLEEVES UNDER RAMP

Four UPVC pipe, 4-inch diameter should be laid under the ramps in line of 5 feet service area. These pipes should be extended 2 feet each on either side of ramp to pull the cables when required.

### 2.39 TELCOMM/GAS SERVICES

These Services have been laid by concerned departments. For individual connections application forms are available with Bahria Services. Forms duly filled may be deposited with Bahria Services for speedy provision of connections. Further the residents are also advised that the Main Gas Pipe Line shall not be concealed in ground and in walls.

Gas cylinder use need to be as per specifications issued by OGRA.

For provision of telephone services, copper/fiber has been laid by respective services providers. Further commercial & residential subscribers are reduced to provide internal conduit wiring using 99.9% copper or drop fiber as the case may be and this conduit wiring should be terminated on left gate pillar at 1.5 feet from ground level.

**2.40 TEMPERING/UNAUTHORIZED ELECTRIC METERS**

For electric meter tempering/unauthorized electric connection, electric supply shall be disconnected without any notice and fine shall be imposed as fixed from time to time.

**2.41 TEMPORARY WASH ROOMS**

Temporary toilets can only be constructed on front side of under construction plot and will be removed after laying of ground floor. Subject to availability of main/running sewerage line at site.

**2.42 TERMITE PROOFING**

Client/members will ensure termite proofing treatment during construction stage following is required to be submitted at the completion stage;

- a) Certificate by vendor for termite proofing along with the required quantity to be used in the foundation as per plot size & other specifications.
- b) Termite proofing needs to be verified by the Building Control Department & Structure Engineer.
- c) Verification certificate of termite proofing after execution, from the vendor, to be submitted to structure engineer and structure engineer needs to verify.

**2.43 UTILITY CONNECTIONS**

Plot owners are required to pay charges for utility connections i.e., Electricity, Gas, Telephone and Water before start of construction. Charges shall be for one connection of each utility. The rates shall be fixed by the Management from time to time. For any additional connection, extra charges shall have to be paid.

**2.44 UNDERGROUND WATER**

Boring within the plot limit is not allowed.

**2.45 UNDER GROUND/OVERHEAD WATER TANK**

Under Ground /Overhead Water Tanks must be of R.C.C. having the following capacities.

PLOT SIZE	UNDER GROUND		OVERHEA	
	Gallon	Size	Gallon	D Size
5/8 Marla	700	7' x 4' x 4'	500	6' x 4' x 4'
10 Marla	1000	7' x 5' x 6'	600	6' x 5' x 4'
1 Kanal	1250	8' x 5' x 6'	700	7' x 5' x 4'
2 Kanal	1500	8' x 5' x 7'	800	7' x 6' x 4'

1. Every house owner shall ensure installation of float valves on Underground /Overhead

Water Tanks and shall make arrangement so that overflow of O/H water Tank pushes back to underground tank. For penalty or violation of tank sizes, see Annexure W.

2. It is mandatory that overhead tank should have such piping arrangement that overflow of overhead tank pushes back in underground tank.
3. Underground water tank cannot be allowed with foundations, should be at minimum of 3'-0" distance from walls.

## 2.46 WATER SUPPLY

Water supply will be arranged by Bahria Town, salient features are as under:

1. Application for water connection shall be made on the Prescribed Form to Bahria Services.
2. The consumer shall pay for the supply of water on flat rates as decided by the Management.
3. Water connection shall be provided within 10 days of application received in water supply department.
4. No one is permitted to install motor/pump on the water supply line. Defaulters shall be fined, to the extent as fixed by the Management, from time to time.
5. Only one connection shall be provided for each house.
6. No water point/tap shall be left outside the boundary wall. No water point will be made on supply line.
7. Car washing is not allowed on Ramp. It can only be done in the Porch provided with steel grated saucer drain at the end of Porch to capture water into street Manhole.
8. Construction of underground water tank is mandatory and be so located/designed that filling from bowser is facilitated.
9. Consumer will extend water connection pipe from given point till Main Gate Pillar, a control valve will be installed and will pass through boundary wall minimum 6" above ground level, fully expose.

### 2.46.1 BREAKUP OF WATER CONSUMPTION

Sr. No.	Item	125&200SQ Y.	250 & 500 SQY.	1,000 SQY.
1.	Drinking	0.68	0.68	0.68
2.	Bathing	8.00	14.00	15.00
3.	Cooking	0.67	0.83	0.83
4.	Sanitary Needs	3.00	8.00	9.00
5.	Ablution	1.30	3.50	10.50
6.	Utensils & House Cleaning	3.34	3.90	4.00
7.	Lawn Sprinkling	1.37	2.00	2.50
8.	Washing of Clothes	2.90	4.00	5.00
9.	Hand Washing	1.00	1.50	1.80

<b>10.</b>	Loses and Miscellaneous	5.90	7.70	7.70
<b>Total</b>		<b>28.16</b>	<b>46.11</b>	<b>57.01</b>
<b>Adopted (Gallons)</b>		<b>40</b>	<b>50</b>	<b>60</b>

#### 2.47 USE OF RESIDENTIAL BUILDINGS

1. Building constructed on residential plot shall be of the residential type only. Shops, Offices and Godowns of any description for storing or exhibiting for sale for any merchandise are not allowed. Any commercial/industrial use is strictly prohibited.
2. Residential Buildings will not be used as regular worship places like Masjid, Jamat Khanas, Imam Bargahs and AzzaKhana.
3. No commercial activity, including establishing restraints, showrooms and offices etc. will be allowed in residential buildings.

#### 2.48 SPIRAL STAIR CASE IN SETBACK

1. Circular stairs are allowed in rear set back only. Straight stairs are strictly prohibited in setbacks. If installed, see annexure W to be paid by client.
2. Spiral Stairs in case of back open plots, shall be covered with steel louvers frame as per design provided by Design Wing.

#### 2.49 STRUCTURE STABILITY

1. Owner and structure engineer after submitting complete architectural, MEP and structure design including soil test is responsible for any structural fault due to poor / substandard building material and poor supervision of work, wrong soil investigation, settlement of building due to lack of desired compaction, ingress of water through walls / floor, seepage / leakage of internal services or faulty structural design. Bahria Town shall not be responsible to pay any damages / claims due to any such incident.

BAHRIA TOWN

# **RESIDENTIAL**



BAHRIA TOWN

Note: SOP's will be updated on monthly basis.

### 3 RESIDENTIAL

#### 3.1 MANDATORY OPEN SPACES (RDA/MCR/DC)

##### 3.1.1 PROJECTS

Bahria Town Phase I, IIs (Partial), III (Partial), Phase VIII, VIII-Ext, Springs North, Safari Villas I, II, III, Safari Valley, Bahria Hamlets, Bahria Orchards, Bahria Enclave III and Bahria GolfCity:

Plot Sizes	Dimensions	Front	Rear	One Side	2 <sup>nd</sup> Side	FAR	Ground Coverage	Building Height
Up to 150 SQY.	25'x45',25'x50', 30' X 40' (Safari Valley)	5	5	0	0	1:2.4	80%	Not more than 38'
	25'x45',25'x50' (Phase-VIII)	5	5	0	0	1:2.4	80%	
151 - 200 SQY.	30'x55',30'x60' (Safari Valley)	5	5	0	0	1:2.3	75%	Not more than 38'
	30'x55',30x60' (Phase-VIII)	5	5	0	0	1:2.3	75%	
250 SQY.but less than 500 SQY.	30'x75',35'x70' 35'x65', 35'x 75'	10	7	5	0	1:2.8	70%	Not more than 38'
500 SQY.but less than 750 SQY.	50'x90', 45'x100' 50'x100',55'x100'	10	7	5	5	1:2.6	65%	Not more than 38'
1000 SQY.and above	Minimum. 75'x120' & above	20	10	10	10	1:2.2	55%	Not more than 38'

#### Note:

Basement is included in FAR

For 125sqyards & 175-200syads plots categories.

1. RDA/MCR charges for covering excessive area shall be payable by client as per calculations provided by Design wing Residential.
2. Second car porch is not allowed in rear setback, however second porch maybe designed after leaving rear and side setback in RDA and MCR.
3. Rear porch can only be provided from rear side depending upon the corner category of plot.
4. Area of basement is included in F.A.R Calculations.

**3.1.2 MANDATORY OPEN SPACES: PROJECTS (CDA)**

Projects Zone IV & V Islamabad, All Enclave Projects, Bahria Garden City, Bahria Hills, Bahria Agro-Farming, Phase VII, VII-Ext, IV,V,VI and phase II and III partially.

Type Of Development	Plot Size (Sqy)	Front Age (Feet)	Max Ground Coverage (%)	Max Floor Area Ratio (Far)	Max Storey & Height	Height	Min. Set.Back (Feet)				Max. Housing Units	Max Car Porch Area (Sft)	Basement	Max. Plinth Level
							Front	Side-1	Side-2	Rear				
TERRACED/ ATTACHED Type 'A'	UP to 150	20-29	Construction may cover a block, leaving compulsory Setbacks		2	30'	5'	...	...	5'	One	100	Allowed leaving the setbacks	3'-6"
	151 to 200	25-30			2	30'	5'	...	...	5'	One	180		
	201 to 320	30-39			2	30'	10'	4'	...	7'	One	180		
	300 to 450	40-49			2	30'	10'	4'	4'	7'	One	200		
SEMI-DETACHED Type 'B'	301 to 625	40-49			2	30'	10'	5'	5'	7'	One	200		
DETACHED TYPE 'C'	400 to 1000	50 to 59			2	30'	13'	5'	5'	8'	Two			
	530 to 1335	60 to 69			2	30'	15'	5'	5'	8'	Two			
DETACHED TYPE 'D'	700 to 1670	70 to 79	Construction may cover a block, leaving compulsory setbacks		2	30'	20'	10'	10'	10'	Two	Single (200 sft) or Double (400 sft) per unit is allowed	Allowed leaving the setbacks	5'-0"
	885 to 2670	80 to 89			2	30'	25'	10'	10'	10'	Two			
	800 to 2900	90 to 99			2	30'	30'	10'	10'	10'	Two			
	1770 to 2720	100 +			2	30'	35'	10'	10'	10'	Two			

**Note:**

1. Area of basement is not included in F.A.R Calculations.
2. CDA Car Porch Allowed Area as under:
  - 2.1 At Front 400 sft.
  - 2.2 For corner plot having 40 feet front or plot area 300 sqyds or above, second porch maximum 150sft.



### 3.2 HEIGHT OF BUILDINGS

The height of any building other than Apartment Buildings measured from the crown of the road to the top of chimney stacks, lift heads and water tower shall not exceed 38 feet in RDA jurisdiction and 30' in CDA jurisdiction.

### 3.3 CEILING HEIGHT

Ceiling height for residential buildings will be maximum 12 feet and minimum 10 feet.

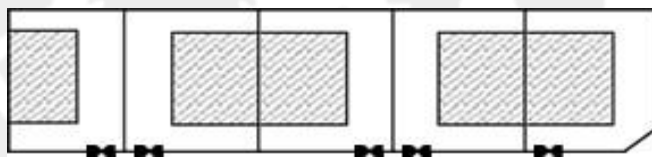
### 3.4 CHAMFERING OF CORNER PLOTS

For traffic friendly needs the corner of a plot bounded by two roads shall be tapered by minimum 6 ft. for 125 – 200 SQY, and 10 ft. for 250 SQY. plots and above from the corner.

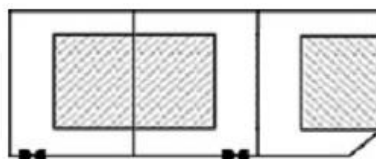
### 3.5 DEAD WALLS

In RDA/CDA Areas:

#### Situation 1:



#### Situation 2:



For RDA: Approval from Design Wing to be attached for relaxation of dead wall towards corner side.

For CDA: Approval is not required.

### 3.6 MERGER /AMALGAMATION OF PLOTS

If one building is required to be constructed on two or more plots or two plots/houses or one plot and a house adjacent to each other are desired to be included in

the boundary, it will be mandatory to apply to Customer Support Centre for merger or permission for temporary merger of plots/houses. After merging the bye-laws including design fee will be applied of the category in which plot falls after merging. The procedure is described in following points: -

### **3.6.1 PERMANENT MERGER/AMALGAMATION OF PLOTS:**

1. One building will not be designed on two or more plots unless these are merged/amalgamated by GM (Planning & Design) in master plan on initiation of case by Head Office only.
2. The merger/amalgamation will be applied to Head Office on the stamp paper of Rs: 200/- as perspecimen attached as Annexure X. (at the end of book).
3. NOC issued from Customer Relations Department & Allotment & Possession Letters of subject plots shall also be submitted while applying for merger/amalgamation in operation department Bahria Town.
4. The plots will have to be on one name or co-shared.
5. Category of plot will be changed / enhanced after merger/amalgamation and in master plan will appear as per enhanced category.
6. Plot once merged cannot be sub-divided again.
7. Relinquishment of any co-sharer out of merged/amalgamated plot will not be permitted without payment of transfer fee as per type of transfer (General, Nominee or death etc.).
8. After the merger/amalgamation, connection charges etc. will be charged as per enhanced category. If connection charges have already been paid for one plot and later on 2nd plot is merged, then only the difference of charges will be paid by the allottee(s).
9. Monthly maintenance will be charged by services department against enhanced category of plot.
10. Design wing will recover the difference of design fee between both the categories if revision / some changes in building plan/design are desired by the allottee(s).
11. Possession from Bahria Town will be issued to those clients who will submit copy of approval of merger/amalgamation from concerned authority to Bahria Town.
12. Client can get approval of merger/amalgamation of plots from concerned authority after payment of charges & prior approval from Bahria Town (Planning & Design Office).
13. RDA & CDA facilitation charges for merger/amalgamation of plots will be charged i.e. (Residential 60,000 & Commercial 1,20,000) if client want to get merger/amalgamation approval through Bahria Town (for Authorities approved Projects only).
14. Merger/Amalgamation fee for RDA will be submitted by client on Challan issued by Authority. Detail of Merger/Amalgamation fee for RDA is as below:

Sr.  
No.

**Merger/Amalgamation Fee**

Processing Fee

**Rs. 5000/-**

**Residential**

- a. Up to 10 Marla, Rs. 10,000/-
- b. Up to 01 Kanal, Rs. 20,000/-
- c. Up to 02 Kanal, Rs. 30,000/-
- d. Above 02 Kanal, Rs. 50,000/-

**Commercial**

- a. Up to 10 Marla, Rs. 20,000/-
- b. Up to 01 Kanal, Rs. 50,000/-
- c. Up to 02 Kanal, Rs. 50,000/-
- d. Above 02 Kanal, Rs. 100,000/-

**Industrial**

- a. Up to 10 Marla, Rs. 20,000/-
- b. Up to 01 Kanal, Rs. 50,000/-
- c. Up to 02 Kanal, Rs. 50,000/-
- d. Above 02 Kanal, Rs. 100,000/-

1

Subject to provision of RDA Building & Zoning Regulations and Punjab Private Housing Scheme Rules-2010, amalgamation of plots may be allowed provided plots are owned by the same owner and are of same land use for residential, converted plots, designated commercial plots and industrial plots. Moreover, on amalgamation the building regulation of original category /zone shall be followed for construction of new building.

BAHRIA TOWN

### 3.6.2 SWIMMING POOLS IN SETBACKS

Swimming pool leaving following setbacks.

For 5M & 7M not allowed.

For 10M leaving minimum of 6'-0" setback at rear and front side only.

For 1K & above leaving minimum of 10'-0" mandatory setback.

#### MEZZANINE FLOORS

##### CDA:

Allowed in 1K and above category keeping height up to parapet level.

Not allowed in 10 Marla & below categories.

##### RDA:

Mezzanine Floor allowed up to parapet level only, applicable for 7 Marla and above.

Not allowed in 5 Marla category.

### 3.7 SIZE OF PLOTS

Sizes of residential plots ranges between 125 SQY.to1000 SQY. However, variation in size/shape due to topography and town planning are likely. Variations will be regularized as per standards:

Size of Farms houses are 2000 SQY and above.

#### 3.7.1 OVER/UNDER SIZE PLOTS

Plots measuring less will be remitted cost of land. Similarly, those measuring more shall be required to pay as per the rates decided by the Management. Corner plots may have odd shape and dimensions but the same SOP's shall be applicable of the plot category in which it falls.

#### 3.7.2 ANNEXATION OF ADJACENT EXTRA LAND

In case where extra land is available adjacent to the plot and is not designated to some other purpose, it may be purchased. Permission of such cases is subject to approval by the Planning Department.

1. Construction is not allowed in Extra land without changing its category to constructible land i.e., Category "B"
2. Provision of Gazebo/covered sitting area using wood / fiber/ steel up to 150sft allowed after leaving compulsory set-back and approval from Bahria Town.
3. Construction is not allowed in extra land without changing its category to constructable land.
4. Extra land in category B & C is not constructable in any case. Bahria Town reserves the right to take extra land back any time on technical grounds.

### 3.8 SOLAR PANELS

Owner is bound to follow specification drawings for Solar Panels installation and location as provided by the Maintenance Department. To be installed at first floor roof top in residential building & roof top of Commercial building no to be constructed on mummy in both cases.

**3.9 SUB DIVISION OF PLOTS**

Sub division of plots is not allowed.

**3.10 COVERED AREA**

Covered area includes:

1. Area of basement.
2. Ground and first floor area.
3. Area of Porch.
4. Area of balcony and verandah.
5. Mumty area.
6. Mezzanine Floor

**3.11 ENTRY GATE(S)**

As a general rule only one entry gate on street as per plot numbering is permitted, except the following:

1. Corner plots having two sides open may have two entry gates, one on each open side, but gate shall not be on corner side in Chamfered or Radius.
2. Where a house is planned on split level, a second gate can be permitted after approval by the Planning Office. This is applicable to the plots having roads at front and back side.
3. Two gates with car porches and independent guard rooms will be permitted only for plot measuring 1000 SQY and above.
4. Only one main gate may be allowed at center of plot in case of plot frontage is 100ft or more
5. Location of Gate is specific with reference to plot and is not optional.
6. Provision of any kind of arch/design element over the gate is not allowed, as well as any decorative gate design/element e.g., crown etc.
7. Width of main/rear gate must be less than 16' and width of wicket gate must be 3 ft.
8. Steps on ramp, limiting to footpath area, are allowed in front of wicket gate (At front) with maximum width of 3'-0" and maximum riser of 5" only and ending at edging stone of the walkways.
9. Wicket must be adjacent to Main Gate.
10. Wicket gate not allowed towards Service Lanes, Green Area or any area which is sole property of Bahria Town.
11. Second gates and wicket gates are not permitted towards main (60' wide/above) roads.
12. In case of corner plots, or plots having any site constraints of level difference (Side road or rear road up to 60ft wide only and level being higher than 10ft), second entry gate may be allowed.
13. Rear porch can only be provided from rear side depending upon the corner category of plot, leaving the setbacks.

**3.12 FACADES/FRONT ELEVATIONS OF BUILDINGS**

The facades/Front Elevations up to 250SQY houses are fixed in each Sector of Bahria Town and clients have to follow the fixed Elevations/Facades along with Color

Scheme and Exterior Finishes.

Plot's 10 Marla and above and not falling in fixed elevation zone, client has the facility to select the front elevation / Facade from Design Wing Bahria Town Office.

Any extra ordinary façade/front elevation prepared from outside Design Book may also be allowed subject to the approval from the **Design Wing Committee** of Bahria Town.

### 3.12 A GARDEN CITY-FIXED ELEVATIONS

- 1) Garden City Elevations (plots and existing structures) cannot be changed.
- 2) Minor Changes in interior, exterior of existing or constructed structures are allowed subject to approval from Design wing.

#### a) BOUNDARY WALLS AND GATES

Not allowed at Front, however Sides/Rear design is fixed and cannot be changed.

#### b) FIXED COLOR SCHEME

Garden City color schemes and exterior finishes are fixed. Approval from Design wing mandatory before application.

#### c) MUMTY

Mumty not allowed.

### 3.13 MUMTY

Construction of Mumty is allowed, but keeping in view the following:

Plot Size	Allowable Mumty Area	Remarks
5 Marla	200 Sft	Fixed
8 Marla	200 Sft	Fixed
10 Marla	250 Sft	Up to 350 Sft. on payment of Rs. 200,000
1 Kanal	300 sft	Upto 400 sft on payment of Rs. 300,000
2 Kanal	300 sft	Upto 400 sft on payment of Rs. 600,000
3 Kanal	350 sft	Upto 400 sft on payment of Rs. 700,000
4 Kanal	400 sft	Upto 500 sft on payment of Rs. 800,000

#### Notes:

1. The front part of the mumty can only cover half of the frontage of building in 5, 8 and 10 Marla and 1/3rd of frontage in 1 Kanal and above.
2. Mumty should not cover full width of building.
3. Shade on Mumty doors and windows must not exceed more than 1'-0 in width.
4. Mumty clear height max 8 ft 6 inches.
5. Stairs till top roof is mandatory.
6. No detached mumty is allowed.

### 3.14 NUMBER OF STOREYS

Maximum two storeys are permitted. In case where layout of ground permits an additional storey, it may be planned after obtaining prior approval.

**3.15 PARAPET WALL**

Height will be as per approved drawings. However maximum height should not be more than 3'-6". Parapet shall be of Reinforced Cement Concrete (R.C.C.). However, parapets towards dead wall having adjacent houses can be of brick masonry.

**3.16 BALCONY**

Balcony of maximum 2'-0" width is allowed in the rear space of 7'-0" setback. For 5'-0" setback balcony/shade is 1'-6". If rear open to road/park then balcony width can be up to 2'-6".

**3.17 BOUNDARY WALL**

Height will be as per approved drawings. However maximum height should not be more than 7'-0" from Road Level. If approved height is violated, penalty and rectification will be required. See Annexure-W. Boundary wall height maybe increased above existing wall for privacy/security. Angled louvers (needs be painted/refreshed yearly), brick wall (after recommendation of structure engineer) & CNC fence (design approval required from Design Wing), maybe allowed for extension of boundary wall. Any other material e.g., corrugated sheets/fiber is not allowed for extension of boundary wall.

**3.18 BASEMENT**

Basements may be allowed subject to the following:

1. Setbacks shall be left clear.
2. In no case the basement will be allowed in the minimum prescribed setbacks. Only a bridge of maximum 12 ft length, 4 ft in width shall be allowed to link the building with approach road provided the front/ side yard of plot is in natural depression. The space under the bridge shall not be used for any habitable purpose, in any case.
3. Only manual excavation is allowed in the basement near the Bahria Town's Service/Utilities areas and areas adjacent to already constructed buildings on recommendation of Structure Engineer.
4. Basement shall have to be completed in the given time frame.
5. Client will have to obtain NOC with undertaking from adjacent house owners in case 5' space is not left from adjoining property. In case of damage to adjacent building (Annexure W) the owner of plot shall be solely responsible.
6. Construction of R.C.C. retaining wall up to plot line shall be mandatory.
7. External walls below natural ground level/yard level of the basement shall be minimum 9" thick R.C.C. walls, with weep holes, adequately water proofed, structurally sound and stable against earth pressure etc.
8. For terraced houses basement under the plinth area shall be allowed provided the adjacent plots are vacant or basements already stand constructed on adjacent houses. In case only ground floor stand constructed on adjacent plot, a minimum distance shall be left from the property line of the adjacent plot while constructing the basement. The distances mandatory to leave are as under:

- a) 5 Marla                    3'-6" from both sides
- b) 8 Marla                    3'-6" from both sides
- c) 10 Marla                  5'-0" from dead wall side.

In all such cases, foundations of external walls shall be designed and constructed cantilevered.

9. The basement shall not be exposed more than 3.5 ft. from crown of the abutting road/zero level.
10. Clear height of the basement shall not be less than 8'-6", and not more than 12'-0", unless site conditions force for extra heights. However, if the basement is used for habitable purposes, the rules for respective space uses shall be applied.
11. All necessary precautionary measures shall be taken during construction of basement for the safety of adjacent structures. In case of damage to the adjacent property, the owner of the plot and his supervising engineer shall be jointly responsible for such damages. Management in no way shall be held responsible for such damages.
12. If services, such as bath and kitchen etc. are provided in the basement, the owner must provide mechanical disposal from the basement to the upper level in all cases (irrespective of levels of Bahria Town mains), so that there is no possibility of back flow in case of chokage of the sewer lines. Management will not be responsible for the consequences in any case. Separate arrangements shall be made for the disposal of storm water drainage to the Bahria Town mains from the basement.
13. In all basements, minimum one emergency exit of size 3' X 3' shall be provided with outside opening.
14. Basement may be used for servant quarter subject to proper light, ventilation and other hygiene standards.
15. In all cases the building should look two storied and the Total height of building from the front approach road shall not be more than 38 feet.
16. Water proofing is must for basements.

### **3.18.1 DOUBLE BASEMENT**

Double basement is allowed in areas where site situations permit it along with recommendations of Structural Engineer and approval from Design Wing.

Following design points to be followed:

#### **1. First Basement:**

Can cover only rear half of plot area OR can cover complete Area leaving setbacks due to site constraints.

#### **2. Lower Ground Floor:**

Can cover area after leaving necessary setbacks.

#### **3. Ground Floor:**

Can cover area after leaving necessary setbacks.

#### **4. First Floor:**

Can cover front half only, rear half not to be designed and constructed OR can cover complete area of First Floor since only two storey will be visible from main road.



- 5. Mumty:**  
Not allowed.

### 3.19 PORCH

1 Minimum size of car porch will be as follows;

Size	Porch Covered Slab	Driveway
5M/8M	13'-0"	3'-0" & varies as per approved drawings
10M	13'-0"	7'-0"
1K/2K	15'-0"	7'-0"

1. Minimum size of the car porch will be:
  - a) for 5M and 8M      10' X 14'
  - b) for 10K and 1K      10' X 16'
 However, Car porch shall not exceed 23 feet in length.
2. A car porch is permissible in side setbacks with the condition that its height measured from the adjoining road shall not exceed 10 ft, whereas second car porch is not allowed in RDA/MCR/DC areas.
3. Porch columns shall have a clear distance of at least 10 ft. from the outer edge of the front boundary wall. However, the outer, edge of porch's projection shall have a clear distance of at least 7 ft. measured from the outer edge of the front boundary wall. In no case porch columns can be erected in 7ft drive way.
4. Porch clear height without basement is 9 ft and with basement 10 ft.
5. In case of corner plot, the length of the second porch can't be less than 16 ft.
6. In case of corner plots, or plots having any site constraints of level difference (Side road or rear road up to 60 ft wide only and level being higher than 10 ft), second entry gate maybe allowed.

Plot Size	Minimum terrace width above porch covered slab width
10M	7'-6"
1K	10'-0"

7. Construction is allowed below the front car porch at basement level leaving setbacks.
8. Construction above and below the Second Porch may be allowed after leaving the Compulsory Open Spaces.

9. The larger size porches can be constructed after leaving the Compulsory Open Spaces.
10. Storm water from the roof of porch shall be drained within the plot.

### 3.20 PROJECTIONS

No bay-window, porch and extension of roof shall be constructed beyond the face of the building except:

1. A window-sill with a projection of not more than 2.5" (0.06 m).
2. Sun shade not more than 2'-6", if mandatory open space of 10 ft. (3.05m) or more is provided with in its compound.
3. Sun shade of not more than 1'-6" (0.46 m), if mandatory open space is less than 10 ft.

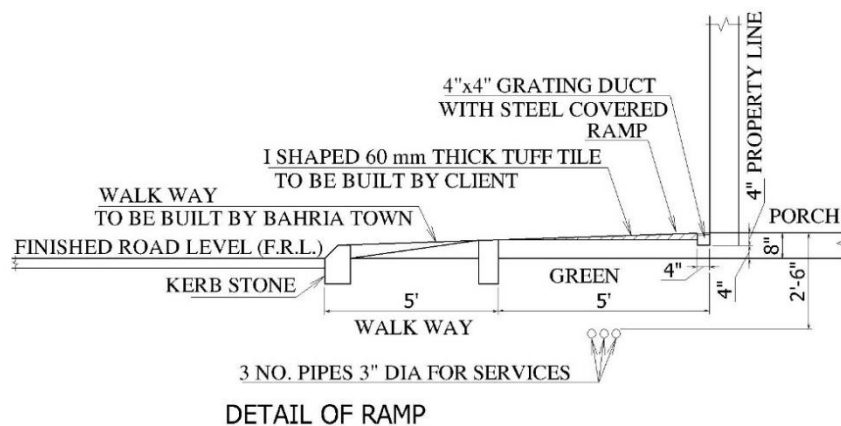
**Note:** Notwithstanding the above provisions, sunshade shall have a clear height of 7 ft. above the plinth of the structure.

### 3.21 ROOF TOP

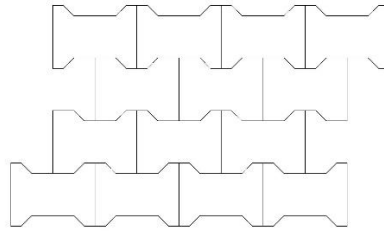
1. Fixing of railing along with masonry is allowed on roof top as per design approved by Design Wing. Purely Grill is not allowed.
2. Any kind of activity or covered structures are not allowed on roof top.

### 3.22 RAMPS

Maximum height of ramp shall be (12") from the road level to the entry gate and ramps constructed beyond the above-mentioned limits shall be demolished or regularized by payable fine (see Annexure W). Four PVC pipes of minimum 4"Ø will be laid under the ramps as conduits for the services to be laid later on.



**Fig (VA)**



### **I SHAPE PAVER (270mm x 195mm)**

#### **Note:**

- i. The ramp shall start from the edging stone of the walkways and the walkways shall not be disturbed in any case.
- ii. The height of the porch shall be calculated from the center of ramp/driveway width and edge of the pavement. In case of slope in road, road level to be considered from highest point of slope at front of porch.
- iii. Saucer drains of minimum 4" diameter covered with steel grating shall be constructed at the start of the drive way to collect the inflows (car & floor washing) from the buildings. This saucer drain should drain off the water either into the green area or to the sewerage system. The purpose is to avoid the running water on roads.
- iv. Steps on ramp are allowed in front of wicket gate (at front) with maximum width of 3'-0 and maximum riser of 5" only and ending at edging stone of the walkways. However, for rear entry gate steps are not allowed outside the plot line in service lane.
- v. It is mandatory to install tuff tiles on ramp outside plot line. Any kind of tile, stone or marble is not permitted. See Fig (VA)

### **3.23 SIZE OF ROOMS**

The minimum area of room meant for human habitation shall not be less than 100 Sft.

### **3.24 CONSTRUCTION OF 40 sft IN REAR SPACE FOR PLOT SIZE 5M,8M, AND 10 MARLA IN RDA AND MCR ONLY. This clause is not applicable For Bahria Enclave Projects and CDA controlled areas.**

Construction of 40 sft. in rear space, with 8 ft. clear height is allowed towards the dead wall as an integral part of main building, but not towards road side in case of corner plots

For open basement plots, construction of 40sft. at rear is permitted in basement level only and not at ground floor level.

Plots having rear opening on main boulevards, green areas or streets will not be allowed for construction of 40 sft in the rear setbacks. However, construction of 40sft. at rear is allowed if;

I-Not visible from road side due to level difference.

II-Adjacent houses are already built with 40 sft. at rear. Allowed towards service lane.

III-This clause is not applicable for Bahria Enclave Projects and CDA Controlled areas.

**3.25 SHADE ON 40 SFT AT REAR SETBACK**

Any shade on 40 sft at rear setback is not allowed Penalty Rs. 20,000/- + Demolition.

**3.26 PERGOLA**

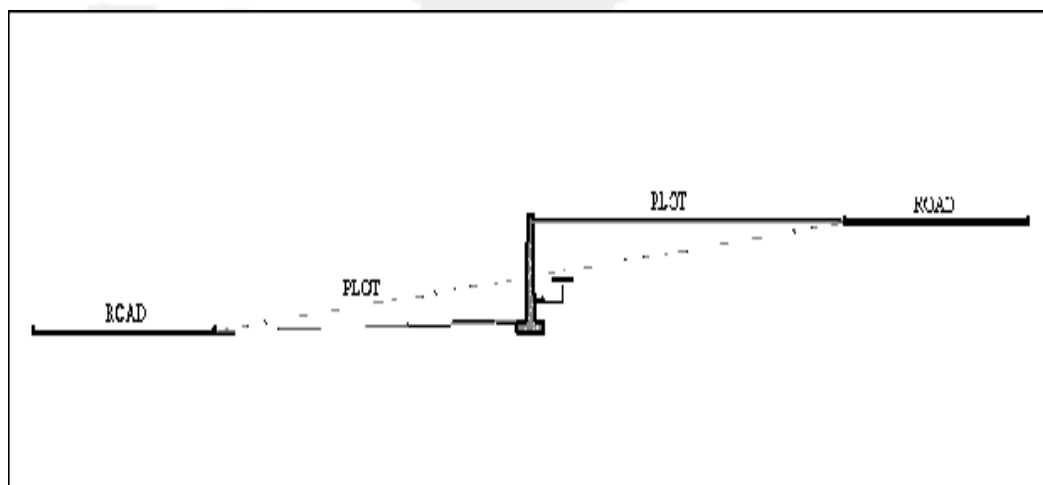
A pergola shall not be permitted within the minimum mandatory open spaces required under these building SOP's.

**3.27 PLOTS AT THE EDGE OF SLOPES / RIDGES**

Plots at the edges of the slopes shall be constructed with great care and after detailed Geotechnical investigations. Preferably, such type of buildings shall be constructed with Pile Foundations / approved structure recommendation.

**3.28 BOUNDARY WALL FOR PLOTS HAVING LEVEL DIFFERENCE/SLOPE**

In case of level difference between two back-to-back plots the rear, corner wall shall Be erected from the lower ground level max up to 7'-0". In such case the boundary wall shall be of R.C.C. The owner who starts construction first shall be responsible for the construction of rear boundary wall. A safety grill CNC or steel design up to maximum 2'-6" after approval can be provided above the boundary wall in side and rear.

**3.29 RETAINING WALLS**

Construction of Retaining Walls within plot boundary to retain the surrounding buildings, infrastructure, roads etc. will be the responsibility of the Plot Owner. Bahria Town will not construct such retention structures.

**3.30 FARM HOUSES (RDA/DC/MCR JURISDICTION).**

- I. Minimum Area of Farm House will be 4 kanal.
- II. The number of storey(s) permissible in a farm house shall not be more than two with a maximum building height of 30ft and one basement may be permitted in farm house.

- III. Maximum ground coverage shall be 30 % up to 40 kanals. If land is above 40 kanals, the ground will not be more than 30 % of 40 kanals.
- IV. Minimum setbacks:

Frontage of Plot	Rear Space	Side Space
Less than 30-ft (9.15 m)	5-ft (1.52 m)	Not required
30 ft (9.15 m) & above but upto to 50 ft (15.24 m)	5-ft (1.52 m)	5-ft (1.52 m) on both side
Above 50 ft (15.24 m) & up to 70ft (21.34 m)	10.ft (3.05 m)	5-ft (1.52 m) on both side
Above 70 ft (21.34 m)	10.ft (3.05 m)	10.ft (3.05 m) on both sides

### 3.31 FARM HOUSES (CDA JURISDICTION).

Covered area for all agro-Farm plots are as follows:

- Maximum combined covered area** (double storey structure with basement under plinth area) on each Agro-Farm plot, other than the poultry sheds may be constructed up to 9500 Sft.

Non production & building zone should not be more than 10% of plot.

Sr. No.	Use	Area (Sft)
1.	Guard Room (SS)	100
2.	Barn (Tractor Trolley and other equipment's with storage/ single storey with Max. 16 feet ceiling height.)	500
3.	Servant Block (SS)	500
4.	Kitchen/Canteen (SS)	900
5.	Office Block (DS)	1000
6.	Manager Residence (DS)	6500
<b>Total Covered Area</b>		<b>9500</b>

- Fish pond, swimming pool (with a re-cycling system), Gazebos, landscape elements may also be constructed.
- Active Farming Area = Not Less than 80%
- 4. Setbacks:**

Minimum size of plot	04 Kanals
No of floors	Basement+G+1
Maximum Ground Coverage/ Covered Area	20% of total plot area on each floor i.e. (Basement + Ground +First)
Guard room	140 Sft adjacent to the gates
Rain Water harvesting	Mandatory

Swimming pool	Allowed subject to management of water is the responsibility of the owner
Landscape	50% of the open area shall be in the form of soft landscape
Fence	See through fence up to the height of 7'-0" + 2'-0" solid at the bottom
Mumty	450 Sft
Setbacks	Front = 75' Sides= 15' Rear= 30'
Porch	Allowed 50% in side setback and 10 feet in front setback and counted in covered area.
Residential units	Maximum 2 Allowed
Servant quarter	Maximum 140 Sft with bath
Corner plot	01 porch from the corner side is allowed.
Gate	02 gates are allowed on 10 kanals and above farm house plots

1. Preferably, **max. 6 feet high see-through boundary walls/fence** (3 ft. masonry and 3 ft. fence over it), should be shifted 8 ft. inside the plot lines from roadside. The area vacated will remain the property of the allottee/owner, but kept open/green and maintained to give a good ambiance and wider look to the road.
2. **Roadside corners**, in case of corner plots, plots should be chamfered by 10'x10' from each corner.

BAHRIA TOWN

### 3.32 CONSULTANCY SERVICES & FEE STRUCTURE

#### (ARCHITECTURAL AND MEP SERVICES ONLY)

**NOTE: Previous payments for more than one year. Balance to be paid as per current payment package.**

#### 3.32.1 TIME SCHEDULE (ARCHITECTURAL & MEP DRAWINGS ONLY):

**SCENARIO 1:** In case of selection from **already approved architectural plans**, minimum 12 working days will be required.

**SCENARIO 2:** In case of new design, 2-3 working weeks will be required Once client finalizes Floor Plans & Elevations.

#### 3.32.2 DESIGN PROCESS

- 1- Design payments are to be deposited in advance in UBL Bank Bahria Town Phase-8 Branch. Cash payments are not accepted in Design Wing
- 2- Appointment with the Architect (List attached).
- 3- Get design options with fixed elevation for 5Marla and 8 Marla.
- 4- Elevations are fixed for all residential areas however client may have his/her own choice.
- 5- After finalization of the architectural plans, CD of the architectural plans will be handed over to client so that he/she can hire soil, Structural & Vetting consultants at his/her own (list attached).

**Bahria Town does not take responsibility of soil testing / structural**

**designs/Construction Supervision of Buildings. Building Control Department only enforces Bye Laws/ SOP's.**

BAHRIA TOWN

**3.32.3 DESIGN PAYMENTS**

**Situation 1: In case of architectural work done by Design Wing  
Bahria Town (Pvt.) Ltd.**

<b>Plot Size</b>	<b>5 Marla</b>	<b>8 Marla</b>	<b>10 Marla</b>	<b>1 Kanal</b>	<b>2 Kanal</b>	<b>3 Kanal</b>	<b>4 Kanal</b>
<b>Design &amp; Completion Certificate Charges Without Basement</b>	Rs. 160,000/-	Rs. 190,000/-	Rs. 255,000/-	Rs. 320,000/-	Rs. 385,000/-	Rs. 495,000/-	Rs. 605,000/-
<b>With Basement &amp; Completion Certificate Charges</b>	Rs. 175,000/-	Rs. 205,000	Rs. 275,000/-	Rs. 340,000/-	Rs. 415,000/-	Rs. 535,000/-	Rs. 655,000/-
<b>Mumty Addition (Already built houses)</b>	Rs. 7,500/-	Rs. 7,500	Rs. 10,000/-	Rs. 10,000/-	Rs. 15,000/-	Rs. 20,000/-	Rs. 25,000/-
<b>Extra Land Design Charges</b>	Rs. 35/ Sft. Per Extra Covered Area	Rs. 35/ Sft. Per Extra Covered Area	Rs. 35/ Sft. Per Extra Covered Area	Rs. 35/ Sft. Per Extra Covered Area	Rs. 35/ Sft. Per Extra Covered Area	Rs. 35/ Sft. Per Extra Covered Area	Rs. 35/ Sft. Per Extra Covered Area
<b>RDA/DC/ MCR Submission Drawings</b>	Rs. 15,000/-	Rs. 15,000/-	Rs. 25,000/-	Rs. 30,000/-	Rs. 40,000/-	Rs. 62,500/-	Rs. 62,500/-
<b>Facilitation fee</b>	Rs 22,000/-	Rs 22,000/-	Rs 22,000/-	Rs 22,000/-	Rs 30,000/-	Rs 30,000/-	Rs 30,000/-
<b>Total RDA/DC/ MCR</b>	Rs. 37,000/-	Rs 37,000/-	Rs. 47,000/-	Rs. 52,000/-	Rs. 70,000/-	Rs. 92,500/-	Rs. 92,500/-
<b>Plot Size</b>	<b>5 Marla</b>	<b>8 Marla</b>	<b>10 Marla (250 Sq yard)</b>	<b>1 Kanal (500 Sq yard)</b>	<b>1 Kanal/ 2 kanal( 600-1000 Sq yards)</b>	<b>3 Kanal</b>	<b>4 Kanal</b>
<b>CDA (Only) Submission &amp; Facilitation charges</b>	Rs. 37,000/-	Rs 37,000/-	Rs. 47,000/-	Rs. 52,000/-	Rs. 70,000/-	Rs. 92,500/-	Rs. 92,500/-



	For Submissions in CDA, Representative of CDA will be available in Planning Wing, Sector M, Phase –VIII, Bahria Town Rawalpindi on <b>Every Thursday from 12 PM to 3 PM</b> for the collection of Maps, Issuance of Challans (Fee) and receipts. After approval Client can collect their Approved Plans from the Planning Wing. Sole purpose is to facilitate the clients and avoid inconvenience from CDA procedures. <b>However, Clients will have the option to prepare and submit Drawings / Documents directly in CDA at their own. For further queries, contact Mr. Naeem 0334-0000641</b>
<b>RDA/CDA/DC</b>	Approval charges shall be made in <b>Concerned Authorities</b> by client themselves.
<b>Boundary Wall &amp; Gate Design Only</b>	Rs. 40,000/- In case of construction of house in future <b>these charges will not be adjusted.</b> Payable for 10marla & above only.

<b>Payment of Extension of Boundary wall of already Constructed house</b>	Only pool and open gazebo allowed leaving mandatory setbacks in Category A/B	5M / 8M 10 / 1K 2K / 4K	RS 15,000/-
<b>In case of temporary merger</b>	Construction of Structure , other than boundary wall ( Annexe / Servant quarter or Parking etc)	25 % payment of plot area	
<b>CDA (Only) Completion Drawings Preparation fee only</b>	For Plot Sizes up to 500 Sqyds Rs : 5,000/-	For Plot Sizes up to 600 Sqyds and above Rs : 10,000/-	

### Fast Track System Payments:

Applicable on projects which are final.

Plot Size	5 Marla	8 Marla	10 Marla	1 Kanal	2 Kanal	3 Kanal	4 Kanal
<b>Fast Track &amp; Completion Certificate Charges</b>	Rs. 185,000/-	Rs. 220,000/-	Rs. 295,000/-	Rs. 370,000/-	Rs. 442,000/-	Rs. 555,000/-	Rs. 695,000/-

**Note:** 10 working days for handover If in case of any approval from Authority, Approval is mandatory prior handover and approval from concerned authority does not apply in fast track.

**In case client follows 100 % of drawings from Design wing data base (Already designed houses) , 10% waiver shall be applicable**

**Situation 2: In case of DESIGN APPROVAL i.e., Design submitted by external architects /consultants for approval.** (Submit drawings according to the approved format, available at front desk Residential)

Plot Size	5 Marla	8 Marla	10 Marla	1 Kanal	2 Kanal	3 Kanal	4 Kanal
<b>Design Approval &amp; Completion Certificate Charges</b>	Rs. 155,000/-	Rs. 180,000/-	Rs. 240,000/-	Rs. 305,000/-	Rs. 360,000/-	Rs. 452,000/-	Rs. 545,000/-
<b>Plot Size</b>	<b>5 Marla</b>	<b>8 Marla</b>	<b>10 Marla (250 Sq yard)</b>	<b>1 Kanal (500 Sq yard)</b>	<b>1 Kanal/ 2 kanal (600-1000 Sq yards)</b>	<b>3 Kanal</b>	<b>4 Kanal</b>
<b>CDA (Only) Submission &amp; Facilitation charges</b>	Rs. 37,000/-	Rs. 37,000/-	Rs. 47,000/-	Rs. 52,000/-	Rs. 70,000/-	Rs. 92,500/-	Rs. 92,500/-
<p>For Submissions in CDA, Representative of CDA will be available in Planning Wing, Sector M, Phase –VIII, Bahria Town Rawalpindi on <b>Every Thursday from 12 PM to 3 PM</b> for the collection off Maps, Issuance of Challans (Fee) and receipts.</p> <p>After approval Client can collect their Approved Plans from the Planning Wing. Sole purpose is to facilitate the clients and avoid inconvenience from CDA procedures.</p> <p><b>However, Clients will have the option to prepare and submit Drawings /Documents directly in CDA at their own. For further queries, contact Mr Naeem 0334-0000641</b></p>							

**Situation 3: Payments for DRAWINGS REVISION after finalization of plan or issuance of final drawings and NOC.**

Plot Size	5 Marla	8 Marla	10 Marla	1 Kanal	2 Kanal	3 Kanal	4 Kanal
<b>Full Revision Package (Without Basement)</b>	Rs. 50,000/-	Rs. 60,000/-	Rs. 80,000/-	Rs. 100,000/-	Rs. 125,000/-	Rs. 150,000/-	Rs. 200,000/-
<b>Basement</b>	Rs. 10,000/-	Rs. 12,500/-	Rs. 12,500/-	Rs. 15,000/-	Rs. 17,500/-	Rs. 22,500/-	Rs. 30,000/-
<b>Ground Floor</b>	Rs. 20,000/-	Rs. 25,000/-	Rs. 25,000/-	Rs. 30,000/-	Rs. 35,000/-	Rs. 45,000/-	Rs. 60,000/-
<b>First Floor</b>	Rs. 20,000/-	Rs. 25,000/-	Rs. 25,000/-	Rs. 30,000/-	Rs. 35,000/-	Rs. 45,000/-	Rs. 60,000/-

Mumty	Rs. 10,000/-	Rs. 10,000/-	Rs. 10,000/-	Rs. 15,000/-	Rs. 20,000/-	Rs. 25,000/-	Rs. 30,000/-
Front Elevation	N.A.	N.A.	Rs. 20,000/-	Rs. 25,000/-	Rs. 35,000/-	Rs. 35,000/-	Rs. 50,000/-
Submission Revision	Rs. 15,000/-	Rs. 15,000/-	Rs. 25,000/-	Rs. 30,000/-	Rs. 40,000/-	Rs. 62,500/-	Rs. 62,500/-
CDA Submission	Rs. 37,000/-	Rs. 37,000/-	Rs. 47,000/-	Rs. 52,000/-	Rs. 70,000/-	Rs. 92,500/-	Rs. 92,500/-
Misc. Revision	Misc. Revision Charges Rs. 20/- per Sft.						
REV. EXTRA LAND DESIGN CHARGES	Extra land Design Charges @ Rs. 20/-per sft. Payable for Full Revision Cases						

**Note:** If design of mumty does not change, then the mumty revision payment will be applicable for refund.

**Situation 4: For Duplicate and Rename set, Mandatory fee in case house is not constructed(Payment not applicable if already made)**

Security Fee = 30,000 / 60,000

Submission Fee = As per plot Area

RDA/DC/MCR excess covered area charges = For 5M and 8M as per calculations:

**3.32.4 Misc. Payments & Accounts Detail**

- |   |              |
|---|--------------|
| A. Duplicate inspection card (Verified by B.C.D):                         | Rs. 6,000/-  |
| B. Duplicate inspection card (Not-Verified by B.C.D):                     | Rs. 60,000/- |
| C. Duplicate architectural drawings, NOC or C.C.:                         | Rs. 6,000/-  |
| D. Duplicate MEP drawings:  | Rs. 3,000/-  |
| E. Change in ownership on drawings & documents:                           | Rs. 6,000/-  |
| F. Design fee & Security fee to be deposited by Cash/Pay order separately |              |

in two different accounts of UBL Bank. **Design fee Account title:**

**BAHRIA TOWN (PVT) LTD DESIGN WING RESIDENTIAL.**

**Account #: 0109000279590071**

- G. Security Fee as per following

Rs 30000/- for 5 & 8 Marlas Buildings

Rs 60,000/- for 10M, 1 K and 2 Kanal Buildings

**Security fee Account title:** BAHRIA TOWN (PVT) LTD DESIGN WING

SECURITY DEPOSIT. **Account #: 0109000279590644**

- Security will be deposited against the damages of the Bahria's Laid Services i.e., Footpaths, Sewerage, Water, Gas, Electric Lines etc. or Violations of SOP's if any. It will be retained till the Completion of the building and will be refunded with or without deduction

depending upon damages or violations.

- Security refund cheque can be collected after 20 working days after submission and approval of application in design wing.
- Original deposit slip to be surrendered at the time of collection of cheque.

### Notes:

1. **100 % Payment** is to be deposited in advance.
2. Payment is valid for **1 Year only**.
3. In case of change of Ownership of Plot, Design Charges if to be refunded will be refunded to the Original Owner.
4. Payments deposited are refundable with 10% deduction.
5. Any refundable amount, approved by HOD, will be reimbursed within three-six months and in the form of installments.
6. **Online Payments** are applicable.
7. **Direct Payments** i.e., Cheques/Cash are not acceptable in Design Wing.
8. As mention in RDA / CDA society cover letters for submissions, the statement, **"THE PLOT IS FREE FROM ALL ENCUMBRANCES"**, means clearance of observations if any.

### 3.32.5 MUMTY AREA EXTENSION-PAYMENT DETAILS

Plot Size	Allowable Mumty Area	Extension
5 Marla	200 Sft.	Fixed
8 Marla	200 Sft.	Fixed
10 Marla	250 Sft.	Up to 350 Sft. on payment of Rs. 200,000/-
1 Kanal	300 Sft.	Up to 400 Sft. on payment of Rs. 300,000/-
2 Kanal	300 Sft.	Up to 400 Sft. on payment of Rs. 600,000/-
3 Kanal	350 Sft.	Up to 400 Sft. On payment of Rs. 700,000/-
4 Kanal	400 Sft.	Up to 500 Sft. on payment of Rs. 800,000/-

### 3.32.6 DOCUMENTS REQUIRED TO INITIATE DESIGN WORK

- Owner's CNIC (Copy).
- Allotment Letter (Copy).
- Possession Letter (Copy).
- NDC (No Demand Certificate) copy for Phase 1 to 6 plots only.
- Payment receipt.
- In case the allottee of the plot is unable to takeover Map then the person nominated by the allottee should be in possession of an authority letter on a stamp

paper of Rs. 20/- duly verified from GM Customer Support Center Ph-8.

- At the time of receiving drawings, **undertaking** as per Annex "A "will be submitted by the client on a stamp paper of Rs 100 attested by **notary public**.
- In case of **Design Approval**, vetted structural drawings with structure stability certificate is mandatory infrastructure is not designed by one of the registered structural engineers of Bahria Town (Pvt.) Ltd. In that case Architect / Structure Engineer will submit registration documents of his or her firm with PCATP / PEC respectively. 2 Sets of the Drawings / Documents of Soil Report, Architectural, Structural and MEP Design along with soft copy will be submitted.
- Building Plans will be submitted and got approved from RDA/TMA/CDA by Client himself/ herself.

### **3.32.7- REQUIREMENT OF DOCUMENTS FOR SUBMISSION FROM CLIENTS IN RDA/CDA**

#### **CDA**

- Structure submission to be submitted from the concerned structure engineer appointed by the client. Which includes:
  - 3.32.3.1 7 Structure copies
  - 3.32.3.2 Calculation book
  - 3.32.3.3 Structure stability certificate
  - 3.32.3.4 Structure submission softcopy
  - 3.32.3.5 A-2 form
- Owner CNIC (Copy) **attested by Grade 17 Gazetted Officer**
- Allotment letter (Copy) **attested by Grade 17 Gazetted Officer**
- Possession letter (copy) **attested by Grade 17 Gazetted Officer**
- Indemnity bond along with CNIC photocopies of 2 witnesses attested by **Notary Public**.
- Pay order of Rs. 6 per square foot addressed to **DDO(Design Wing) Capital Development Authority OR DDO(Design Wing) CDA**

#### **RDA**

- The BR-1 form must be completed by Applicant with correspondence address and phone number.
- Undertaking on stamp paper of PKR. 1000 with signature of owner and three (3) witnesses (form BR-5) **attested by Notary Public**.
- The BR-6 and BR-11 forms must be completed by concerned "Structural engineer".
- Go to **One Window Operation Centre** (5th room from the right side of the Main Entrance Gate) in "**Rawalpindi Development Office**" near Liaquat Bagh Muree Road Rawalpindi.
- Take the Challan form by RDA and submit it into "National Bank of Pakistan" City branch near Committee Chowk Rawalpindi.
- Rs 10 per Square foot will be charged by RDA.
- Submit Bank receipt along with Submission file received by Design Wing Bahria town Rawalpindi to **District Court Rawalpindi (E-Khidmat Markaz)**, Opposite to Jinnah Park Rawalpindi.
- Owner CNIC (Copy) **attested by Grade 17 Gazetted Officer**.

- Allotment Letter (Copy) **attested by Grade 17 Gazetted Officer.**
- Possession Letter (Copy) **attested by Grade 17 Gazetted Officer.**

### 3.32.8 NOC FOR EXECUTION (CIVIL WORKS)

Upon fulfillment of requirements and submission of complete architectural, MEP, and structural design including soil test, submitted by client Sr. Chief Architect (Residential) will issue formal NOC for execution.

### 3.32.9 IMPORTANT INFORMATION

1. There are no approved/registered Contractors, Builders or Material Suppliers by Bahria Town (Pvt.) Ltd. Rawalpindi / Islamabad.
2. Prior to the construction activity, client should remove the tiles from the walkways and stack it at a safe place as these will be reused once the structure is completed.
3. Only manual excavation is allowed for basements near Bahria Town's service / utilities areas and adjacent constructed buildings. Member will have to obtain NOC from neighboring building members if 5' space is not left from adjoining property. In case of damage to the adjacent building, the owner of the plot shall be sole responsible.
4. Excavated Material can only be dumped in the adjacent vacant plot. Make sure that only one plot is used for the dumping of excavated material.
5. After the excavation, the client will have to immediately remove the excavated soil from the site and dispose it off at the designated sites for dumping.
6. During the course of construction, building material can only be dumped or stacked in the adjacent vacant plot. Only one plot will be allowed to be used for this purpose.
7. Construction and supervision activities must be recorded and signed by the respective consultants and building control departments.
8. Exterior finishes i.e., Color, materials etc. will be issued by the Senior Architect.
9. Approval of Exterior Finishes (color, paints, materials etc.) is mandatory from Senior Architect Design Wing (R). Upon violation, fine see annexure W. Rectification of violation will be done by the client at his / her own expenses.
10. Any required MS material due to structure stability or as elevation element, is supposed to get maintained / painted each year with approval from Design Wing and record needs to be maintained for Design Wing. In case of selling of house / building, this will be transferred to next owner. Skipping this will result in disconnection of Bahria Town Utilities from the maintenance department.
11. No type of any single element / utility services will be exposed on the elevation. If so, it will be removed without notice by Bahria Town Maintenance and Enforcement.
12. Porch Levels should be strictly followed as per approved Plans.
13. Only Spiral Stairs are allowed in the Set Backs.

14. Fiber Glass shade is not allowed in the front/sides /rear, open to green areas and roads.
15. Outdoor air conditioning units and geysers are not allowed to be installed on the front/sides /rear, open to green areas and roads.
16. Fencing is not allowed along the green belts outside the houses.
17. Defaulters shall be liable to a fine which may extend see annexure W depending upon the gravity of violation.
18. For security grill design, get approval from Security Office.
19. To ensure security of house, install Security System whose specs are given in M.E.P Drawings from Bahria approved vendor.

### 3.32.10 FINAL COMPLETION TO OCCUPY BUILDINGS

Upon Completion of Buildings as per approved Design, Client will:

Install Security System with Sensor & Alarm from Panic Control System

**Bahria Phase 1 to 6: Office:** 203 Waqas Arcade, Civic Center Ph.4, near KFC.

**Bahria Phase 7 & 8: Office:** 101, HAK-2, Near Bahria Security Office

Submit following documents in Building Control Department for processing of NOC;

1. Final NOC Form (To be obtained from Building Control Department) (Annex 3-B).
2. Three NOC Forms (Electricity, Gas and Sewerage) (To be obtained from Building Control Department BCD). (Annex B)
3. All electrical, gas and water service meters are mandatory to be installed and related NOC's to be applied from Maintenance and submitted in Design Wing for completion.
4. CNIC, Possession Letter and Allotment Letter.
5. No Demand Certificate (NDC).
6. Inspection Cards duly signed by BCD/Consultant of Client.
7. Completion Certificate from the Structural Design Consultant.
8. Front Façade of the Building with Colors/Materials duly signed by the Senior Architect of Bahria Town. (BCD will get it done with the help of Senior Architect).
9. Completion Fee as per size of the Plot.
  - 5-8 Marla: Rs 11000/-
  - 10 Marla: Rs 14000/-
  - 1 Kanal: Rs 17000/-
  - 2 Kanal: Rs 23000/-
10. Upon fulfillment of requirements, Sr. Chief Architect will issue Completion Certificate. Completion Certificate will entitle Client to get the Electricity tariff changed from commercial to domestic and services from the Services Department.
11. Completion certificate will be cancelled if any violation/ color change done/executed at site without approval from design wing/authority.
12. Installation of Security System and Surveillance System are mandatory for completion. Following are the details:

Installation of Security System(Sensor and Alarm) is mandatory  
For Completion  
PANIC ALERT CONTROL SYSTEM

Office: Bahria phase 1-6 Office: 203 Waqas Arcade Civic Center , bahria Town Phase 4 Near KFC Islamabad	Office: Bahira phase 7-8 HAK-2, Office: 101, Near Bahria Security Office Islamabad
For Contact - 0334-5917864-0307-8147615.	

**For Complaints In Design Wing Please Contact:**

**Mr. Ali Shan**

(Senior Manager Design Wing)

Cell #

0312-5002899

Land Line #

051-5705860/111333888-102

Email #

A.shan@bahriatown.com.pk

BAHRIA TOWN



**3.32.11 CONSULTANTS (GEO TECH & STRUCTURES CONSULTANTS (GEO TECH & STRUCTURES)**

(For Soil Testing, Structural Design, and Top Supervision).

For Soil Testing/Structural Design/Vetting of Structural Drawings, Client may choose one of the Structural Consultant listed above. However complete responsibility of Soil Testing,

**A. GEO TECH CONSULTANTS.**

Sr No	Firm Name & Address	Name	E-mail/ Cell No.	Remarks
1	<b>Geo Project Consultants</b> (PEC# Consult/932) Basement Floor, Zain Plaza, Near Moon CNG Opposite Gate No 2 of DHA -IIGT Road Islamabad	Engr. Ijaz Shahid	<a href="mailto:ejazaib@hotmail.com">ejazaib@hotmail.com</a>  0300-9757801 051-5813539	Geo Tech
2	<b>Geo Crust</b> (PEC # 62064) Flat # 04, Ist Floor, Plaza No 8 E-11/3, Islamabad	Engr. Mr. Naeem Uddin	<a href="mailto:geocrust.isb@gmail.com">geocrust.isb@gmail.com</a>  0332-2449877 051-2223718	Geo Tech
3	<b>BK Engineering Private LTD</b> (PEC # License # 14290) House No. 16, Street No. 16, B Orchard, DHA-1, Rawalpindi Office No. 8, Al-Kousar Plaza, G-10 Markaz, Islamabad Office; Global Books Kashif Plaza f-8 Markaz Islamabad.	Babar Khan	<a href="mailto:bk.group.pk@gmail.com">bk.group.pk@gmail.com</a>  0345-9623303 0333-4724366	Geo Tech
4	<b>Earnest Pakistan</b> (PEC # Consult/1616, CDA 220/599) Office # 5, 2 <sup>nd</sup> Floor Prism Arcade III, Hub Commercial NO. 139 to 142, Bahria Town Rawalpindi.	Engr. Tariq Mahmood	<a href="mailto:engr.tariq.ep@gmail.com">engr.tariq.ep@gmail.com</a>  0300-8541018	Geo Tech
5	<b>A.N Associates</b> Consulting Structural Engineers (PEC# Consult/998, CDA 523) 18/62, First Floor, Rafique Center, Adam Jee Road Sadar Rawalpindi	Engr. Karam at Ali Abdul Qadir	<a href="mailto:alikaramet1@gmail.com">alikaramet1@gmail.com</a>  051-5529849 0342-9315985 0300-8554680 0346-8525868	Geo Tech

**Notes:**

1. For Soil Testing / Structural Designs / Vetting of Structural Drawings; Clients may choose one of the Consultant as listed.
2. For MEP Designs client may choose one of the consultants as listed; however, it is mandatory to get MEP drawings vetted from 'TI Design Consultant for Commercial only
3. Clients and their Consultants will be responsible for all Structural & MEP Services. Bahria Town (Pvt.) Ltd. will not be responsible.
4. Consultants to make sure for Compaction test & termite proofing.

**B. STRUCTURE & VETTING CONSULTANTS.**

Sr. No	Firm Name & Address	Name	E-mail/ Cell No.	Remarks
1	<b>Umair Majeed Consulting Engineer</b> <u>Office no. S -50,51,76,116,117,118,119</u> <u>Second floor City Center, Bank Road Saddar</u> <u>Rawalpindi</u>	Engr. M Umair Majeed	<a href="mailto:umairmce@yahoo.com">umairmce@yahoo.com</a> <a href="mailto:umairmce@gmail.com">umairmce@gmail.com</a>  0332-5056097	<u>Structu</u> <u>re +</u> <u>Vetting</u>
2	<b>Paramount Consultants</b> <u>Lilly-1, River Hills, Mini Commercial, Phase-7,</u> <u>Bahria Town, Rawalpindi.</u>	Saad Haroon Sadiq	<a href="mailto:Paramount.constl@gmail.com">Paramount.constl@gmail.com</a>  0321-7899908 051-8480009	<u>Structu</u> <u>re +</u> <u>Vetting</u>
3	<b>Earnest Pakistan</b> (PEC # Consult/1616, CDA 220/599) Office # 5, 2 <sup>nd</sup> Floor Prism Arcade III, Hub Commercial NO. 139 to 142, Bahria Town Rawalpindi.	Engr. Tariq Mahmood	<a href="mailto:enr.tariq.ep@gmail.com">enr.tariq.ep@gmail.com</a>  0300-8541018	Structu ral Design + Vetting
4	<b>Buildcon Consulting Engineers</b> <u>Office # 25, 3rd Floor, Gulberg Trade Center,</u> <u>Gulberg Greens, Islamabad.</u> <u>Office # 01, Plaza 26-A, Business Bay, Phase-7,</u> <u>Bahria Town.</u>	Muhammad Sohail	<a href="mailto:info@buildcon.com.pk">info@buildcon.com.pk</a>  0331-5588851	<u>Structu</u> <u>re +</u> <u>Vetting</u>

5	<b>Sustainable Design Consultants</b> Office# 4, First Floor, Block-25, PHA Flats, G-7/1, Islamabad.	Engr. Mamoon Riaz	<a href="mailto:sdcenr@gmail.com">sdcenr@gmail.com</a> <a href="mailto:mamoon.riaz2021@gmail.com">mamoon.riaz2021@gmail.com</a> 051-2609542 0334-9248289 0315-4809929	Structu re + Vetting
6	<b>ZAC Engineers</b> -2/3/4 Ground Floor, Anwar Plaza, Bolan Road, Soan Garden, Islamabad.	Dr. Zeeshan Alam	<a href="mailto:enrzeeshanalam@gmail.com">enrzeeshanalam@gmail.com</a> 0333-8555086	Structu re + Vetting
7	<b>Design Inn</b> Office no: 17-B, Main PWD road, Islamabad	Hafiz Abdul Aleem	<a href="mailto:Hafizaleem786@yahoo.com">Hafizaleem786@yahoo.com</a> 0321-5562846	Structu re
8	<b>Structural Systems</b> Apartment 1, first floor, plaza 16 Commercial Avenue Phase VII, Bahria Town, Rawalpindi	Abdul Rauf	<a href="mailto:arrauf77@gmail.com">arrauf77@gmail.com</a> 0321-8401973	Structu re
9	<b>M/S Alpha Engineering Consultants</b> Office#4, LG Prisim Arcade 3, Hub Commercial, Bahria Phase 8, Rawalpindi	Muhammad Hammad Ahmed Younas Khan Atif Hussain	<a href="mailto:alphaenggconsultants@gmail.com">alphaenggconsultants@gmail.com</a> 051-2721895 0333-1948723 0334-5514737 0336-5449563	Structu re + Vetting
10	<b>Faisal &amp; Fahad Associates</b> (PEC# Consult/1460) Architectural & Engineering Services Office No 301, Raja Safder Arcade Phase 7, Bahria Expressway Bahria Town Rawalpindi/ Islamabad	Engr. Faisal Naeem	<a href="mailto:faisalandfahad@gmail.com">faisalandfahad@gmail.com</a> 0334-5148610 0324-6236442 051-5400153	Structu ral Design + Vetting
11	<b>Engineering &amp; Design Consultants</b> (PEC # Consult /1312, CDA Str220/227) Office No 2, 1st Floor, Faizan Plaza 27- Mini Commercial, Phase 7 Bahria Town Islamabad	Engr. Mr. M. Imran Zafar Engr. Ghazi Arslan Ahmed	<a href="mailto:edc1312@gmail.com">edc1312@gmail.com</a> 0300-5162284 0322-5118790 0315-9992877	Structu ral Design + Vetting

		Mr. Shafay Qadeer		
12	<b>A.N Associates</b> Consulting Structural Engineers (PEC# Consult/998, CDA 523) 18/62, First Floor, Rafique Center, Adam Jee Road Sadar Rawalpindi	Engr. Karamat Ali Abdul Qadir	<a href="mailto:alikaramet1@gmail.com">alikaramet1@gmail.com</a>  051-5529849 0342-9315985 0300-8554680 0346-8525868	Structural Design + Vetting
13	<b>M/s Emarat Design &amp; Engineering</b> FF, Niaz Arcade, 14-C, Abubakar Commercial, Abubakar Avenue, Bahria Town, Ph-VIII, Rawalpindi	Engr. Waqar Saleem	<a href="mailto:cewaqaar@gmail.com">cewaqaar@gmail.com</a>  <a href="tel:051-8744487">051-8744487</a> <a href="tel:0331-7204875">0331-7204875</a>	Structure + Vetting
14	<b>Bukhari Associates</b> (PEC # Consult/1288) Prism Arcade-3 Hub Commercial Phase VIII, Bahria Town, Rawalpindi. Lower ground Floor, Naveed Arcade, Main Blvd, River Garden Housing Society, Zone -V Islamabad.	Syed Iqbal Hussain Bukhari	<a href="mailto:bukhariassociates78@gmail.com">bukhariassociates78@gmail.com</a>  0300-6340094 0331-5023454 0305-8750108 0333-6340094	Structure + Vetting
15	<b>Modern Consulting Engineers</b> (PEC Consult #1474), River Hills-2, Mini Ext. II, Phase-VII, Bahria Town Rawalpindi/Islamabad.	Engr. Amjad Hanif Engr. Bilal Ahmed	<a href="mailto:Amjadhanif23@gmail.com">Amjadhanif23@gmail.com</a>  0334-5495998 051-8899999 0303-6944340 0344-5385275	Structure + Vetting
16	<b>Abdul Naseem</b> Main Double Road 786, G-13/4 Islamabad.	Design House	<a href="mailto:designhouse2003@gmail.com">designhouse2003@gmail.com</a> <a href="mailto:designhouse2003@yahoo.com">designhouse2003@yahoo.com</a>  0333-5259694	Structure + Vetting

17	<b>MI &amp; ASSOCIATES</b> <u>1- Bahria Office: office 1, Lower ground floor, Sanan Center, Adjacent to Bahria Head Office, Hub Commercial, phase 8, Bahria town Rawalpindi</u> <u>2- Zaraj Office: Office 2, Lower ground floor, Safa heights, sector B, Zaraj housing scheme Islamabad</u>	Muhammad Idrees Khalid Ans Nawaz Sami Ullah Khan	<a href="mailto:miassociatesbt@gmail.com">miassociatesbt@gmail.com</a>  0300-9850160 0305-5552436 0301-5975893 051-5427336	<u>Structure + Vetting</u>
18	<b>Dr. Qaisar Ali</b> <u>Office# G-11, block 11, Business Bay, Sector F, DHA -1, Islamabad</u>	Dr. Qaisar Ali Associates	<a href="mailto:Dqa.info@gmail.com">Dqa.info@gmail.com</a>  0301-8802893	<u>Structure</u>
19	<b>DESIGNMEN CONSULTING ENGINEER</b> <u>1<sup>st</sup> Floor 9-west Rizwan Plaza, Jinnah Avenue, Blue Area, Islamabad</u>		<a href="mailto:Designmenislamabad@gmail.com">Designmenislamabad@gmail.com</a>  051-2828577 0300-5589683	<u>Structure</u>
20	<b>RIKSONS</b> <u>Plaza# 137, Office no: 5, Attar Heights 1 Opp Bahria Head Office, Bahria Town phase 8, Rawalpindi</u>	Ikram Ullah Khan Waseem Akhtar	<a href="mailto:info.riksons@gmail.com">info.riksons@gmail.com</a>  0312-5191649 0343-5063430	<u>Structure</u>
21	<b>CivTech Consultants (Pvt) Ltd</b> <u>Office Flat No 02, Second Floor, Torch Plaza, Civic Center, Phase IV, Bahria town</u>	Sheraz Bashir	<a href="mailto:civtechconsult@gmail.com">civtechconsult@gmail.com</a>  0300-8105957	<u>Structure + Vetting</u>

**Notes:**

- 1. For Soil Testing / Structural Designs / Vetting of Structural Drawings; Clients may choose one of the Consultant as listed.**
- 2. For MEP Designs client may choose one of the consultants as listed; however, it is mandatory to get MEP drawings vetted from 'TI Design Consultant for Commercial only**
- 3. Clients and their Consultants will be responsible for all Structural & MEP Services. Bahria Town (Pvt.) Ltd. will not be responsible.**
- 4. Consultants to make sure for Compaction test & termite proofing.**

**C. Verification from Bahria Town's Maintenance Committee**  
**High Rise Building (load of 1-MW & above)**

<b>MEP Vetting Engineers List</b>				
<b><u>North Wing</u></b>				
Engr Azhar Mahmood	GM (Grid Station & Billing)	0334-5270693		Vetting
Engr Ahmed Kamal Shahid	GM Elect. Development	0322-8567783		Vetting
Saleem Zada	Manager Electrical			Vetting
Mazhar Inam Qureshi	SDO (P&I) Ph-IV Grid Station	051-5179716 051-5179717		Vetting

BAHRIA TOWN

<b><u>South Wing</u></b>				
Engr Azhar Mahmood	GM (Grid Station & Billing)	0334-5270693		Vetting
Engr Ahmed Kamal Shahid	GM Elect. Development	0322-8567783		Vetting
Engr Ali Usman	Manager Electrical	0333-5122800		Vetting
Engr Ahmed Ihsan	SDO (P&I) Ph-IV Grid Station			Vetting
<b><u>Spring North / Safari Project</u></b>				
Engr Azhar Mahmood	GM (Grid Station & Billing)	0334-5270693		Vetting
Engr Ahmed Kamal Shahid	GM Elect. Development	0322-8567783		Vetting
Intikhab Ahmed	GM Elect. Development			Vetting
Engr Ahmed Ihsan	SDO (P&I) Ph-IV Grid Station			Vetting

BAHRIA TOWN

**SPECIMEN OF UNDERTAKING**

To be prepared on Rs.100/- Stamp Paper Duly Attested by Notary Public  
To be submitted in Design Wing-Residential

**UNDERTAKING TO START CONSTRUCTION**

I/We, \_\_\_\_\_ am/are owner/owners of Reg. No: \_\_\_\_\_, Plot No: \_\_\_\_\_, Street No: \_\_\_\_\_,  
Phase \_\_\_\_\_, Block/Sec \_\_\_\_\_, Bahria Town, Islamabad/Rawalpindi, do hereby undertake and solemnly affirm as  
under:

1. That I/We have decided to start construction of building on the above mentioned plot under my/our own Soil Investigation, Structure and MEP Design/Supervision. Bahria Town, Islamabad/Rawalpindi is only providing guide lines and assistance to follow the SOP's established for the convenience of members of Bahria Town, Islamabad/Rawalpindi.
2. That I/We (the owner/builder/contractor of the building) am under obligation to follow the SOP's of Bahria Town during the construction of building. Administration of Bahria Town, Pvt. Ltd. Islamabad/Rawalpindi, including Building Control Department (BCD), shall not be held responsible for any structural fault due to use of poor/substandard building material and lack of supervision of work by me (the owner/builder/contractor of the under construction building). Moreover, Bahria Town is indemnified of losses/damages incurred to me because of wrong soil investigation, settlement of Building due to lack of desired compaction, ingress of rain water, leakage of internal services or faulty structural design.
3. That it will be my/our responsibility to get approval of building plans from concerned authority (RDA/CDA/Metropolitan Corporation) and I/we will pay their fee prior to start of construction. After completing the construction of house/building I/we will get completion NOC from concerned authority (RDA/CDA/Metropolitan Corporation) before applying for Completion Certificate in Bahria town Pvt. Ltd.
4. I/We undertake the responsibility of any coordination with the concerned authority (RDA/CDA/Metropolitan Corporation).
5. That Building Control Department will be informed two days earlier for excavation of site and an engineer will be appointed on site at time of excavation and construction of building.
6. I/We undertake that plot excavation will be done by Bahria Town's Registered Contractors' only.
7. That I/we will follow approved architectural, M.E.P drawings and approved color schemes issued by Design-wing for construction and no alteration will be done on site without approval. Green cloth will be installed around site, ramp at front will not be raised more than 1'-0". A.C outdoor units will not be installed at front or at any other elevation exposed to roads, parks, green spaces etc. Fiber Glass shades or any other structure will not be installed without prior approval from Design-Wing. Rain water drain will not be connected to main sewer and will inform Bahria Services before connecting sewer lines to main sewer, and walkways will be completed before grey structure is completed
8. That structure of basement shall be completed as early as possible according to the precautionary measures issued by Design Wing, else I/We will be liable to pay 100% damages incurred to any structure of Bahria Town (Pvt) Ltd or any other person. In case of having adjacent constructed building, 5'-0" set back will be left towards that side at basement level and excavation will be done manually, as per specifications issued by the related structure engineer.
9. That in case of loss of inspection card provided by the Building Control Department of Bahria Town, Pvt. Ltd. Rawalpindi/Islamabad for inspection of building at various stages (bye-laws only), I/We (the owner/builder/contractor) shall be solely responsible for any fault/damage incurred later on to the building. Final NOC will not be issued in absence of inspection card issued by the Building Control Department of Bahria Town, Islamabad/Rawalpindi.
10. That I/we will use the building materials as per specifications of drawings issued to me/us for aforementioned building. In case of any incident/damage to structure of the building due to use of incorrect materials or wrong soil investigation, the management of Bahria Town Pvt. Ltd. will not be responsible to pay any damages/claims.
11. That I/We will be solely responsible for any damage incurred to the adjacent buildings during the construction of my building and will be responsible to get the adjacent building repaired and will restore it to its original shape.
12. I/We undertake that the above statement is true to the best of my knowledge and there is no concealment of facts.
13. That I/We have given this undertaking with free will without any influence, coercion, pressure or binding and that the executants have no right to peruse/refer the same matter in any court of law under any pretext/excuse.
14. Bahria Town reserves the right to cancel the issued NOC or impose financial penalties on violations.

Executant Name & Sign: \_\_\_\_\_ CNIC No: \_\_\_\_\_

**Witnesses:** 1 -Name & Sign: \_\_\_\_\_ CNIC No: \_\_\_\_\_

2- Name & Sign: \_\_\_\_\_ CNIC No: \_\_\_\_\_

**NOTE: PLEASE VERIFY BEFORE USING THIS FORMAT**



BAHRIA TOWN (PVT.) LTD. RAWALPINDI/ISLAMABAD

**SPECIMEN**



## Completion NOC's

### Residential

Completion N.O.C Will be provided based on approved drawings sets and required Documents for Completion of building construction, as below:

#### Category 1

Complete building construction with all floors constructed, including mumty.

#### Category 2

Partial completion of building construction with Full Ground Floor including basement if any, without First Floor.

#### Category 3

Building construction with Full Ground Floor and incase of partial Construction of First Floor.

Note:

- 1-**It is mandatory to construct complete elevation elements of First Floor facing any road way and open park / green areas, etc.
- 2-**It is mandatory to clear all objections / rectifications required marked at the time of completion visit.

BAHRIA TOWN

## Annex "3-B

**SPECIMEN OF UNDERTAKING**

To be prepared on Rs.100/- Stamp Paper Duly Attested by Notary Public  
To be submitted in Design Wing-Residential

**Completion NOC after Completing the Building-After Approval from Design Wing**

I/We, \_\_\_\_\_ am/are owner/owners/architect/structure engineer of Reg. No:\_\_\_\_\_, Plot No:\_\_\_\_\_, Street No:\_\_\_\_\_, Phase\_\_\_\_\_,Block/Sec\_\_\_\_\_, Bahria Town, Islamabad/Rawalpindi, do hereby undertake and solemnly affirm as under:

1. I/We hereby undertake that we have completed the construction of the building on the above-mentioned plot under my/our own Soil Test Investigation, Structure/Supervision and Bahria Town Islamabad/Rawalpindi only provided guidelines and assistance to follow the SOP's established for the convenience of the members of Bahria Town.
2. I/We undertake that I/We are totally responsible for any structural fault due to poor/substandard building material and poor supervision of work, wrong Soil Investigation, settlement of the building due to lack of desired compaction, entrance of rain water and leakage of internal services or faulty structure design.
3. I/We further undertake that Bahria Town shall not be responsible to pay for any damages/claims due to any such incident.
4. I/We further undertake that I/We will not install A.C outdoor units at front or at any other elevation exposed to roads, parks, green spaces and Service Lanes after completion.
5. I/We further undertake that I/We will not install fence on green belt which is not part of my property after completion.
6. I/We further undertake that in case of transfer or sell off, the next allottee/owner will be responsible and same SOP's/Bye-laws/Policy will be applicable for him/her.
7. I/We further undertake that in case of transfer, the new allottee/owner will clear all previous objections and will be responsible for any rectifications required.
8. That the above statement is true to the best of my knowledge and there is no concealment of facts.
9. That I/We have given this undertaking with free will without any influence, coercion, pressure or binding and that the executants have no right to peruse/refer the same matter in any court of law under any pretext/excuse.

Executant Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

**Witnesses:** 1 -Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

2- Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

**NOTE: PLEASE VERIFY BEFORE USING THIS FORMAT**



BAHRIA TOWN (PVT.) LTD. RAWALPINDI/ISLAMABAD

SPECIMEN

**SPECIMEN OF UNDERTAKING**

To be prepared on Rs.100/- Stamp Paper Duly Attested by Notary Public

To be submitted in Design Wing-Residential

**For Sunken Basement-After Recommendation from Structural Engineer with Sign and Stamp**

I/We, \_\_\_\_\_ am/are owner/owners of Reg. No: \_\_\_\_\_, Plot No: \_\_\_\_\_, Street No: \_\_\_\_\_,  
Phase \_\_\_\_\_, Block/Sec \_\_\_\_\_, Bahria Town, Islamabad/Rawalpindi, do hereby undertake and solemnly  
affirm as under:

1. I/We hereby undertake that we are going to start construction of our house with sunken basement.
2. I/We hereby undertake that we will not cover Sunken Basement with any kind of shade except for window shades (1'-6") or balcony shade as approved by Design-Wing Bahria Town (PVT) Ltd.
3. I/We hereby undertake that that in case of having adjacent constructed building, excavation will be done manually and structure of basement shall be completed as early as possible according to the precautionary measures issued by Design Wing.
4. I/We further undertake the responsibility that I/we will be solely responsible for any damage incurred to the adjacent building during the construction of basement and will be responsible to get it repaired till the time its status is restored to its original shape, and will be liable to pay 100% damages incurred to any structure of Bahria Town (Pvt) Ltd or any other person.
5. That the above statement is true to the best of my knowledge and there is no concealment of facts.
6. That I/We have given this undertaking with free will without any influence, coercion, pressure or binding and that the executants have no right to peruse/refer the same matter in any court of law under any pretext/excuse.
7. That Bahria Town reserves the right to cancel the issued NOC or impose financial penalties on violations.

Executant Name & Sign: \_\_\_\_\_ CNIC No: \_\_\_\_\_

**Witnesses:** 1 -Name & Sign: \_\_\_\_\_ CNIC No: \_\_\_\_\_

2- Name & Sign: \_\_\_\_\_ CNIC No: \_\_\_\_\_

**NOTE: PLEASE VERIFY BEFORE USING THIS FORMAT**



BAHRIA TOWN (PVT.) LTD. RAWALPINDI/ISLAMABAD

SPECIMEN

**SPECIMEN OF UNDERTAKING**

To be prepared on Rs.100/- Stamp Paper Duly Attested by Notary Public  
To be submitted in Design Wing-Residential

**For Windows on Dead wall towards Service Lane/Green Area/Any other-After Approval from Design Wing**

I/We, \_\_\_\_\_ am/are owner/owners of Reg. No: \_\_\_\_\_, Plot No: \_\_\_\_\_, Street No: \_\_\_\_\_,  
Phase \_\_\_\_\_, Block/Sec \_\_\_\_\_, Bahria Town, Islamabad/Rawalpindi, do hereby undertake and solemnly  
affirm as under:

1. That we are going to start construction of our house and we want to install windows on dead wall towards adjacent green area (property of Bahria Town)/Service Lane/drain etc.
2. That I/we are bound to close these windows at the first notice whenever Bahria Town requires it and we will
3. not ask to extend the time period for their closure.
4. That the above statement is true to the best of my knowledge and there is no concealment of facts.
5. That I/We have given this undertaking with free will without any influence, coercion, pressure or binding and that the executants have no right to peruse/refer the same matter in any court of law under any pretext/excuse.
6. That Bahria Town reserves the right to cancel the issued NOC or impose financial penalties on violations.

Executant Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

**Witnesses:** 1 -Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

2- Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

**NOTE: PLEASE VERIFY BEFORE USING THIS FORMAT**



BAHRIA TOWN (PVT.) LTD. RAWALPINDI/ISLAMABAD

SPECIMEN

**SPECIMEN OF UNDERTAKING**

To be prepared on Rs.100/- Stamp Paper Duly Attested by Notary Public  
To be submitted in Design Wing-Residential

**For Applying of Weather Shield Paint/Chemical (for water resistance) instead of Hot Bitumen on Dead wall**

I/We, \_\_\_\_\_ am/are owner/owners of Reg. No:\_\_\_\_\_, Plot No:\_\_\_\_\_, Street No:\_\_\_\_\_,  
Phase\_\_\_\_\_,Block/Sec\_\_\_\_\_, Bahria Town, Islamabad/Rawalpindi, do hereby undertake and solemnly affirm  
as under:

1. That I/we have completed the structure of our house and we are applying weather shield paint/chemical instead of hot bitumen on our dead wall and outer side of boundary walls.
2. That I am/we are solely responsible for any damage to adjacent property due to water leakage.
3. Management of Bahria Town Pvt. Ltd. will not be responsible to pay any damages/claims to me or to adjacent house.
4. That the above statement is true to the best of my knowledge and there is no concealment of facts.
5. That I/We have given this undertaking with free will without any influence, coercion, pressure or binding and that the executants have no right to peruse/refer the same matter in any court of law under any pretext/excuse.
6. That Bahria Town reserves the right to cancel the issued NOC or impose financial penalties on violations.

Executant Name & Sign: \_\_\_\_\_ CNIC No: \_\_\_\_\_

**Witnesses:** 1 -Name & Sign: \_\_\_\_\_ CNIC No: \_\_\_\_\_

2- Name & Sign: \_\_\_\_\_ CNIC No: \_\_\_\_\_

**NOTE: PLEASE VERIFY BEFORE USING THIS FORMAT**



BAHRIA TOWN

BAHRIA TOWN (PVT.) LTD.RAWALPINDI/ISLAMABAD

SPECIMEN

**SPECIMEN OF UNDERTAKING**

To be prepared on Rs.100/- Stamp Paper Duly Attested by Notary Public  
To be submitted in Design Wing-Residential

**Construction without Soldier Piles or By Parts Wall-After Approval from Design Wing**

I/We, \_\_\_\_\_ am/are owner/owners of Commercial plot with Reg. No: \_\_\_\_\_, Plot No: \_\_\_\_\_, Street No: \_\_\_\_\_,  
Phase \_\_\_\_\_, Block/Sec \_\_\_\_\_, Bahria Town, Islamabad/Rawalpindi, do hereby undertake and solemnly affirm as under:

1. I/We hereby undertake that we are instructed by Consultant Structure Engineer and Bahria Town to execute R.C.C Piles or By Parts Wall due to soil conditions, but we are unable to execute them as soil is hard on ground.
2. I/We hereby undertake that in case of any damage to Bahria Services or adjacent building, I/we will be solely responsible for any damage incurred to the adjacent building during the construction of my building and will be responsible to get the adjacent building repaired till the time its status is restored to its original shape Management of Bahria Town Pvt. Ltd. shall not be responsible to pay any damages/claims to me or to adjacent house/buildings.
3. That the above statement is true to the best of my knowledge and there is no concealment of facts.
4. That I/We have given this undertaking with free will without any influence, coercion, pressure or binding and that the executants have no right to peruse/refer the same matter in any court of law under any pretext/excuse.
5. That Bahria Town reserves the right to cancel the issued NOC or impose financial penalties on violations.

Executant Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

**Witnesses:** 1 -Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

2- Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

**NOTE: PLEASE VERIFY BEFORE USING THIS FORMAT**



BAHRIA TOWN

BAHRIA TOWN (PVT.) LTD. RAWALPINDI/ISLAMABAD

SPECIMEN

**SPECIMEN OF UNDERTAKING**

To be prepared on Rs.100/- Stamp Paper Duly Attested by Notary Public  
To be submitted in Design Wing-Residential

**Consent by Architect (Design Approval), Structure Engineer & Owner for not leaking the drawings**

I/We, \_\_\_\_\_ am/are owner/owners/architect/structure engineer of Reg. No: \_\_\_\_\_, Plot No: \_\_\_\_\_, Street No: \_\_\_\_\_,  
Phase \_\_\_\_\_, Block/Sec \_\_\_\_\_, Bahria Town, Islamabad/Rawalpindi, do hereby undertake and solemnly affirm as under:

1. All drawings are sole property of the Design-Wing and they are not to be produced in whole or in part without written consent from Design-wing Bahria Town.
2. I/we will ensure security of documents and drawings.
3. That the above statement is true to the best of my/our knowledge and there is no concealment of facts.
4. That I/we have given this undertaking with free will without any influence, coercion, pressure or binding and that the executants have no right to peruse/refer the same matter in any court of law under any pretext/excuse.
5. That Bahria Town reserves the right to cancel the issued NOC or impose financial penalties.

Executant Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

**Witnesses:** 1 -Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

2- Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

NOTE: PLEASE VERIFY BEFORE USING THIS FORMAT



BAHRIA TOWN (PVT.) LTD. RAWALPINDI/ISLAMABAD

SPECIMEN



**Note: SOP's will be updated on monthly basis.**

BAHRIA TOWN



**4 COMMERCIAL  
(APARTMENTS/CONDOMINIUMS)**

**4.1 CDA JURISDICTION AREA**

For space norms of the projects falling in CDA jurisdiction.

- Certificate/NOC from Civil Aviation Authority (CAA) regarding height restriction will be mandatory for planning of apartment building project.
- Traffic Impact Assessment (TIA) and Environment Impact Assessment (EIA) to be prepared prior to construction.

Sr yNo.	Categor	Up to 08 Kanal	08 Kanal & Above
1.	Size of Plot	(To be proposed by the sponsor)	(To be proposed by the sponsor)
2.	Set Backs between Plot Line of Housing Units/Row Housing and the Building Line of Apartment Building Project.	Minimum 120 feet distance must be maintained from residential plots	Minimum 150 feet distance must be maintained from residential plots
3.	Maximum height of building	120 feet (only parapet wall, stair tower and overhead tank will be permitted on the roof, height of all such structures shall not exceed 8 feet). Height of Building can be restricted by Planning & Design Office Bahria Town on technical grounds.	200 feet (only parapet wall, stair tower and overhead tank will be permitted on the roof. height of all such structures shall not exceed 8 feet). Height of Building can be restricted by Planning & Design Office Bahria Town on technical grounds.
4.	Maximum ground coverage	50% of the site area	50% of the area earmarked/approved for flats in the Layout Plan of the Scheme
5.	Set Backs	Front: 30 feet Other sides: 15 feet minimum (Adjustable according to Ground Coverage of Plot)	Front: 30 feet minimum Other sides: 15 feet minimum
6.	F.A. R	1:4	1:5
7.	Covered area/Size of apartment unit	According to GC & FAR	According to GC & FAR
8.	Car Parking	Up to 1000 sqft. of apartment size = 1 car parking space 1001-1500 sqft. of apartment size = 1.5 car parking space Above 1500 sqft. of apartment size = 2 car parking spaces Parking requirement shall be met within the plot area including basement and surface area. The parking provision will be accordingly shown/identified on the plan	Up to 1000 sqft. of apartment size = 1 car parking space 1001-1500 sqft. of apartment size = 1.5 car parking space Above 1500 sqft. of apartment size = 2 car parking spaces Parking requirement shall be met within the plot area including basement and surface area.
9.	Basement	Basement shall be used for parking purpose only. However plant rooms, stores and caretaker/chowkidar duty room will be allowed. Minimum 10 feet distance will be maintained from all around the plot line for excavation of basements. Open basements will be allowed on technical grounds.	Basement shall be used for parking purpose only. However plant rooms, stores and caretaker/chowkidar duty room will be allowed (that should not be more than 5% of the area). Minimum 10 feet distance will be maintained from all around the plot line for excavation of basements. Open basements will be allowed on technical grounds.
10.	Minimum distance between two blocks of apartments	Minimum 30 feet	Minimum 30 feet
11.	Minimum road width within apartment scheme	70 feet with parking on both sides and walkways	70 feet with parking on both sides and walkways
12.	Ancillary facility structure	Only gardens, landscaping, swimming pools, changing rooms, chowkidar cabins, utility rooms and reception desk shall be permissible in the open space near buildings provided that the height of such 70 feet with parking on both sides and walkways	Only gardens, landscaping, swimming pools, changing rooms, chowkidar cabins, utility rooms and reception desk shall be permissible in the open space near buildings provided that the height of such 70 feet with parking on both sides and walkways
13.	Basic Amenities	The basic amenities like prayer hall, café, Gym, Multipurpose Hall, swimming pool, and basic necessities shall be provided not more than 5% of the FAR and shall be counted in FAR	The basic amenities like prayer hall, café, Gym, Multipurpose Hall, swimming pool, and basic necessities shall be provided not more than 5% of the FAR and shall be counted in FAR

#### 4.1.1 RAMP AND TOILET FOR DISABLED PERSONS

In all commercial buildings, public buildings and apartments a ramp of minimum 6 feet width and having maximum gradient of 1:6 should be provided. In case of no-provision of lifts, each floor should be accessible through this ramp. A toilet for disabled must also be provided.

#### 4.1.2 SOLID WASTE MANAGEMENT

Refuse chutes shall be provided in multistory building for disposal of solid waste. All buildings other than houses shall provide adequate storage space for storing of solid waste equal to at least 24 hours of generation.

#### 4.1.3 MISCELLANEOUS

1. Fire and safety standards as per Building Code of Pakistan (Fire Safety Provisions 2016).
2. Structural design to be prepared & vetted by licensed professional engineer in accordance with applicable Building Code.
3. In apartment building the following shall be allowed along with stair towers including water tank, cooling tower, pent house etc., subject to maximum covered area of all structures on roof shall not exceed 15 % of roof top. Suitable penthouse / viewing gallery may be constructed along with stair tower in apartments building.

## 4.2 RDA JURISDICTION

### 4.2.1 MANDATORY SPACES

Minimum mandatory open spaces are given in table below. Detailed open spaces will be subject to FAR & ground coverage of plot.

Plot Types	Front	Rear	One Side	2 <sup>nd</sup> Side
Approved Apartment Sites (10 Marla to 30 Marla)	10 ft.	7 ft.	5 ft.	...
Approved Apartment Sites (Above 30 Marla but less than 2 Kanal)	10 ft.	7 ft.	5 ft.	5 ft.
Approved Apartment Sites (2 Kanal & Above)	30 ft.	13 ft.	13 ft.	13 ft.

Notwithstanding the provisions above, a guard room measuring not more than 100 Sft. in area is permissible near the gate in case of apartment building.

#### 4.2.2 BUILDING HEIGHT

1-In case of approved Apartments sites, the maximum height of any Apartment Building measured from the crown of the road shall not exceed 1.5 times the width of the rightof way plus the width of building line in front of the plot (exclusive of chimney stacks, lift heads and water tower).

#### 4.2.3 GROUND COVERAGE AND FLOOR AREA RATIO (F.A.R)

Plot Types	Ground Coverage	Storey	Height Upto	F.A.R	ROW of Road
Min 10 Marla up to less than 01 Kanal	65 %	G+03	48'	N.A	40'
Min 01 Kanal and less than 02 Kanal	65 %	G+05	90'	N.A	40'
Min 2 Kanal & Less than 4 Kanals	65 %	G+09	160'	1:6	50'
Min 4 Kanal & Less than 8 Kanals	65 %	G+12+Service Floor	200'	1:8	60'
Min 8 Kanal & Less than 12 Kanals	65 %	G+20+Service Floor	300'	1:12	80'
Min 12 Kanal & Above	50%	G+26+Service Floor (NOC from CAA/PAF)	Above 300'	Above 300' increase in F.A.R @ 4% proportionate to height (e.g. if height is 400', then F.A.R will be $(400 \times 0.04) = 16$ )	100'

- The parking in the setback areas and mandatory spaces will not be allowed and will be used for pedestrian walkways or green spaces. However, in case of addition, alteration or revise plan if the parking already approved in the plan will remain intact.
- Bahria Town can restrict height & no. of storeys of a building based on technical grounds.

**4.2.4 OWNERSHIP RIGHTS OF ALLOTTEE(S) IN APARTMENTS**

Every allottee of the apartment will have a proportionate share in the overall envelope of the site of that apartment and that shall be intimated to allottee(s) at the time of the allotment.

**4.2.5 OTHER DESIGN PARAMETERS**

All other design parameters of the Apartment Building will remain the same and described in Commercial Buildings & Structural Requirements sections.

**4.3 BYE-LAWS FOR MULTI STOREY APARTMENT BUILDINGS SCHEMES (CDA)**

Minimum size of plot	N.A
FAR	1:4 for area up to 8K & 1:5 for above 8K
Maximum Ground Coverage	50%
Minimum block distance	30'
Minimum internal road width	50'
Height	Flexible subject to NOC from CAA/PAF
Basements	No residential use shall be permitted in the basement and it shall be used for stores/air raid shelter Chowkidar duty room and car parking.
Parking	As per CDA apartment building rules.
Fire and safety standards as per Building Code of Pakistan (Fire Safety Provisions 2016)	
Structural design to be prepared & vetted by licensed professional engineer in accordance with applicable Building Code.	
The basic amenities like prayer hall, café, Gym, Multipurpose Hall, swimming pool, and basic necessities shall be provided not more than 5% of the FAR and shall be counted in FAR.	
In apartment building the following shall be allowed along with stair towers including water tank, cooling tower, pent house etc., subject to maximum covered area of all structures on roof shall not exceed 15 % of roof top. Suitable penthouse / viewing gallery may be constructed along with stair tower in apartments building.	

#### 4.4 RAMP AND TOILET FOR DISABLED PERSONS

In all commercial buildings, public buildings and apartments a ramp of minimum 6 feet width and having maximum gradient of 1:6 should be provided. In case of no-provision of lifts, each floor should be accessible through this ramp. A toilet for disabled must also be provided.

### 5 COMMERCIAL (MCR/RDA/DC)

#### 5.1 CENTRAL BUSINESS DISTRICT (RDA)

**DIFFERENT CATEGORIES OF PLOTS FALLING IN CENTRAL BUSINESS DISTRICT, OTHER COMMERCIAL AREAS/ ROADS SPECIFIED IN THE MASTER PLAN/ANY OTHER LOCAL AREA PLAN/ ACTION AREA PLAN AND CONVERTED PLOTS**

##### 5.1.1 MANDATORY OPEN SPACES

Minimum mandatory open spaces are given in table below. Detailed open spaces will be subject to FAR & ground coverage of plot.

Extra Height Charges above 38 feet (Rs. 125/- per sft of covered area for apartment building & Rs.60/- per sft for commercial building)

The increase in FAR above 300 feet in Skyscraper zone shall be proportionate to the actual proposed height

\*Determination of FAR within Skyscraper shall be made on the basis of formula given in above table.

Parking requirement for the plot must be covered in any case within the plot area.

Zones	Plot Size	Max Ground Coverage	F.A.R	Storey	Height (including parapet wall)	ROW of Road	Parking
Low Rise	Up to 10 Marla to less than 01 Kanal	65%	N.A	G + 3	up to 50 ft.	Min 30 ft.	
Medium Rise-1	Min 01 Kanal but less than 02 Kanal	65%	N.A	G + 6	up to 90 ft.	Min 30 ft.	One Car Space for every 700 Sft of Floor Area (Atleast one floor on entire plot dedicated for parking)
Medium Rise-2	Min 02 Kanal but less than 04 Kanal	65%	1:5.5	G + 9	up to 120 ft.	Min 40 ft.	
High Rise-1	Min 04 Kanal but less than 06 Kanal	65%	1:8	G + 12 + Service Floor	up to 200 ft.	Min 60 ft.	
High Rise-2	Min 06 Kanal but less than 12 Kanal	65%	1:12	G + 20 + Service Floor	up to 300 ft.	Min 80 ft.	
Sky-scraper	Min 12 Kanal and Above	50%	Above 300 feet increase in FAR @ 4% Proportionate to height (e.g. if height is 400 ft then FAR will be $400 \times 0.04 = 16$ )	G + 23 + Service Floor (NOC from CAA/PAF)	Above 300 ft.	Min 80 ft.	

**5.1.2 SETBACK ON UPPER FLOOR**

Instead of constructing boxes, architect shall provide setbacks at upper floors After appropriate height intervals for esthetics.

**5.2 MAIN CIVIC AND COMMERCIAL CENTERS & NEIGHBORHOOD COMMERCIAL AREAS (RDA)****5.2.1 MANDATORY OPEN SPACES**

No mandatory open spaces are required in commercial /office building use in the main Civic and Commercial Centers as well as Divisional and District Centre and neighborhood, including basement provided the level of arcade shall not be more than 6-inches from the adjoining road level.

**5.2.2 ALLOWED COVERAGE, FAR, NO. OF STOREY, HEIGHT, PLOT SIZE**

Consult the Table 5.1.2 for exact height & other parameters of each commercial area in Bahria Town.

Zones	Plot Size	Ground Floor Coverage including Arcade & subsequent floors	F.A.R	Storey	Height (including parapet wall)	Parking Requirement
Low Rise	Less Than 4 Marla	7/8 <sup>th</sup> of plot area & 3/4 <sup>th</sup> on subsequent floors	N.A	G + 2	Upto 38 ft.	Not Required
Medium Rise-1	4 Marla to less than 10 Marla	7/8 <sup>th</sup> of plot area & 3/4 <sup>th</sup> on subsequent floors	N.A	G + 4	Upto 72 ft.	Not Required
Medium Rise-1	10 Marla to less than 2 Kanal	7/8 <sup>th</sup> of plot area & 3/4 <sup>th</sup> on subsequent floors	N.A	G + 5	Upto 90 ft.	Not Required
Medium Rise-2	Min 2 Kanal & less than 4 Kanal	7/8 <sup>th</sup> of plot area & 3/4 <sup>th</sup> on subsequent floors	1 : 5.5	G + 7	Upto 120 ft.	Not Required
High Rise-1	Min 4 Kanal and less than 8 Kanal	7/8 <sup>th</sup> of plot area & 3/4 <sup>th</sup> on subsequent floors	1 : 8	G + 12 + Service Floor	Upto 200 ft.	One car space for 1000 Sft useable area
High Rise-2	Min 8 Kanal and less than 12 Kanal	7/8 <sup>th</sup> of plot area & 3/4 <sup>th</sup> on subsequent floors	1 : 12	G + 23 + Service Floor	Upto 300 ft.	One car space for 1000 Sft useable area
Skyscraper	Min. 12 Kanal & above	7/8 <sup>th</sup> of plot area & 3/4 <sup>th</sup> on subsequent floors	Above 300 feet increase in FAR @ 4% ProPortiona <sup>t</sup> e to height (e.g if height is 400 ft then FAR will be 400*0.04 = 16	G+23+ Service Floor (Noc from CAA/PAF	Above 300 ft.	One car space for 1000 Sft useable area

- a. Only one basement is allowed with a maximum depth of 12ft (3.66m) from the road level for plot area up to 1 Kanal. However, plots having up to 120 ft height may have more than one basement.
- b. Amalgamation of plots is allowed, whereas sub division of plot in Civic Center is strictly prohibited.
- c. The Sponsor / Owner may utilize the designated parking space in front of Commercial building for construction of parking after getting plan vetted by Traffic Engineering and Town Planning, RDA.
- d. Parking requirement for the plot must be covered in any case within the plot area. (On Street Parking will be used only for Plots up to 1 Kanal)

### 5.2.3 BASEMENT FOR COMMERCIAL PLOTS

1. Open basements may be allowed based on technical grounds.
2. Lift, stairs & wheel chair lifter must be provided in all floors including LG & basements.
3. Basement shall be permitted on the allowable foot print area ensuring safety of adjoining buildings.
4. Basement space may be utilized for commercial/office use; however, its use for residential purpose will be strictly prohibited.
5. If basement is used for purposes other than parking, its area will be counted towards floor area.
6. Only one basement is allowed with a maximum depth of 12ft. (3.66m) from the road level for plot area up to 1 Kanal.
  7. Basement shall have to be completed in the given time frame.
8. Only manual excavation is allowed in the basement near the Bahria Town's Service/Utilities Areas and adjacent already constructed buildings.
9. All necessary precautionary measures shall be taken during construction of basement for the safety of adjacent structures. In case of damage to the adjacent property, the owner of the plot and his supervising engineer shall be jointly responsible for such damages. Management in no way shall be held responsible for such damages.
10. In all basements, minimum one emergency exit of shall be provided with outside opening.
11. Shoring/Revetment is mandatory.
12. Water proofing is must for basements.

## 5.3 COMMERCIAL (CDA)

### 5.3.1 MARKAZ

The number of floors, FAR & other parameters shall be as under:

Sr. No.	Description
1	<p><b><u>Category 1 (Up to 999 SQY.)</u></b></p> <ul style="list-style-type: none"> <li>• Max. F.A.R = 1: 5</li> <li>• No. of floors = LG+G+5 OR G+06</li> <li>• Additional FAR/Storey is subject to parking within plot line</li> </ul> <p><b><u>Category 2 (1000 and above SQY.)</u></b></p> <ul style="list-style-type: none"> <li>• Max. F.A.R = 1: 6</li> <li>• No. of floors = LG+G+7 OR G+08</li> <li>• Additional FAR/Storey is subject to parking within plot line</li> </ul>
2	No building should go beyond Max FAR.
3	The owner will cater for the parking requirement which is generated from allowing additional storey through provision of parking in the basement, in case the size of the plot is such that basement cannot be used for parking then owner will make payment to CDA in addition to additional story charges on rates as determined by CDA.
4	Basement if already permitted by CDA for parking purpose will not be Allowed for Commercial purpose/any other use etc. under any Circumstances.
5	Certificate of Original Designer/Engineer in case of old building that the building is capable of withstanding additional storey and this load has already been accounted for in the original design of the building.
6	In case the original Designer/Engineer is not available then it will be verified by the design consultants registered with CDA and vetted by vetting consultants duly registered with CDA.
7	<p><b><u>Mezzanine and lofts:</u></b></p> <p>Mezzanine and lofts are allowed with maximum 18'-0", the minimum height of rooms in mezzanines and loft shall conform to the height applicable to the buildings in which they are been provided with the exception of shops where the height may be reduced to seven feet six inches provided that: -</p> <p><b>(a)</b> No mezzanine or loft shall be permitted in shops/commercial having a height of less than 18'0".</p> <p><b>(b)</b> The total mezzanine or loft area in any shop/commercial shall not exceed on-third of the total floor area of shop:</p> <p><b>(c)</b> The underside of every mezzanine or loft shall not be less than 8</p>



	feet above the floor of shop/commercial: <b>(d)</b> In no case shall a mezzanine or loft be permitted within 6 feet from the front wall of shop / commercial: <b>(e)</b> Every such mezzanine or loft shall be accessible by a ladder or a staircase of non-inflammable material and located inside the shop/commercial: <b>(f)</b> Mezzanine or loft having area more than 1/3 <sup>rd</sup> will be counted in FAR.
--	--

Owners of all buildings who have availed enhanced FAR / number of storeys will be subject to charges as determined by the Authority from time to time.

### 5.3.2 SPECIAL REQUIREMENTS FOR PLOT PLANNED FOR 100 % COVERAGE

**(i) VERANDAS: -**

Minimum 6'-0" wide veranda shall be provided for pedestrian circulation towards the sides which are facing roads streets and parking lots. These verandas shall have convenient connections with the verandas of the adjacent buildings. No Steps shall be allowed on foot path/road, projection beyond the plots lines for access the building levels of verandas shall be kept accordingly.

**(ii) PROJECTIONS: -**

Maximum 3'-0" wide projections shall be allowed on first and subsequent floors. Covered projections will be allowed without any charges if falling within permissible F.A.R. Covered projections beyond permissible F.A.R shall be allowed subject to charges. However, ornamental features shall be exempted from any charges. Same will be applied in case of covered projection on setbacks, if any.

**(iii) PROVISION OF PUBLIC TOILETS AND RAMPS FOR SPECIAL/DISABLED PERSONS: -**

**(a)** Every building shall be provided with minimum 01 public toilet and 01 for special persons at Ground floor, which shall be maintained by the Managing committee of the building.

**(b)** Ramps from foot path level to entrance of building for easy accessibility through wheel chair shall be mandatory for all buildings other than dwelling house.

**(c)** Ramp of minimum 06' width having maximum gradient of 1:6 shall be provided for disable persons. In case of no-provision of lifts, each floor should be accessible through this ramp.

**(d)** Wheel chair lifter of minimum 4' width shall be provided.

#### 5.4 NEIGHBORHOOD COMMERCIAL CENTER (CDA)

The number of floors, FAR & other parameters shall be as under:

Sr. No.	Description
1	The max. FAR in neighborhood center is <b>1:3</b> . i.e., <b>LG+G+01</b>
2	No building should go beyond Max FAR.
3	If basement has not been mentioned in the allotment letter, then it will be allowed upon submission of requisite charges as per rates.
4	This permission of basement can only be given to those owners who construct the building after demolishing existing building.

#### 5.4.1 SPECIAL REQUIREMENTS FOR PLOT PLANNED FOR 100 % COVERAGE

(ii) **VERANDAS: -**

Minimum 5'-0" wide veranda shall be provided for pedestrian circulation towards the sides which are facing roads streets and parking lots. These verandas shall have convenient connections with the verandas of the adjacent buildings. No Steps shall be allowed on foot path/road, projection beyond the plots lines for access the building levels of verandas shall be kept accordingly.

(iii) **PROJECTIONS: -**

Maximum 3'-0" wide projections shall be allowed on first and subsequent floors. Covered projections will be allowed without any charges if falling within permissible F.A.R. Covered projections beyond permissible F.A.R shall be allowed subject to charges. However, ornamental features shall be exempted from any charges.

(iv) **PROVISION OF PUBLIC TOILETS AND RAMPS FOR SPECIAL/DISABLED PERSONS: -**

(a) Every building shall be provided with minimum 01 public toilet and 01 for special persons at Ground floor, which shall be maintained by the Managing committee of the building.

(b) Ramps from foot path level to entrance of building for easy accessibility through wheel chair shall be mandatory for all buildings other than dwelling house.

#### 5.5 BYE LAWS FOR CONSTRUCTION OF COMMERCIAL BUILDINGS ON MAJOR AVENUES/ROADS OF APPROVED COOPERATIVE HOUSING SOCIETIES/PRIVATE HOUSING SCHEMES IN ZONE-II, IV, V (CDA)

The ground coverage, FAR & other parameters shall be as under:

Road size Frontage	FAR	Ground coverage	Usage	Setback	Height
60'-100'	1:5	70 %	Ground + 4 Storey = Commercial Subsequent Storey = Offices and/or Apartments. Education institutes are not allowed.	As per Terms & Conditions of allotment letter.	Subject to NOC from CAA & PAF Authorities
101' to 200'	1:5.5				
201' and above	1:6				

**Notes:**

1. The above FAR is only applicable for plot size measuring 1000 and above Sq. Yds. However, all plots up to 999 Sq. Yds. shall have FAR 1:5 irrespective of road size.
2. Circulation area up to 8 feet wide corridor shall be counted in FAR and area above 8 feet corridor shall not be counted in FAR.
3. Lift shaft, emergency stair, Mechanical rooms, MEP floor with 7'-0" height, HVAC ducts, 1/3rd Mezzanine will not be counted in FAR.
4. One Car space for 700 sq. ft. covered area. The parking requirements will be accommodated within plot line including basements. In case of parking permission on upper floors, the minimum height will be 7'-6", approaching ramps and parking floor will not be taken in FAR. In case building is already constructed and doesn't comply with the parking requirement, the owner shall provide parking by developing parking lot/plaza in the vicinity at his own expense, the same shall be undertaken/pledged with Authority for the purpose of parking utility only.
5. In case of unavoidable circumstances by relaxing setbacks, maximum Ground coverage may be relaxed up to 10 %, 1st 2.5 % @ Rs. 250/sft, 2nd 2.5% @Rs. 500/sft, and above 5 % @Rs.1000/sft.

**5.6 MISCELLANEOUS**

1. Fire Safety Room, Electrical Room, Telecom Room, Sui Gas Meter Room, Room for Security Guard can be provided in second basement if size of plot permits or at top, in the Mumty subject to fulfillment of specific conditions and sound structural design, duly designed, certified and documented by structural engineer.
2. Basement shall be permitted on the allowable footprint area ensuring safety of adjoining buildings.
3. Basement space may be utilized for commercial office use, however, its use for residential propose will be strictly prohibited.
4. Basements may be utilized for laboratories; however, separate emergency exits will be provided.

### 5.6.1 HOARDINGS

The content of display has to be approved by Design Wing before and payment of fee as prescribed by Management, from time to time. Signboards should be as per standard of Bahria Town. The specification of sign boards as given below:

1. Sign Board Height: 2'-6"
2. Letter Material: Acrylic
3. Letter Size: 18"
4. Color: Preferably white with light at back. However, colors can be as per color scheme of the Brand/company.
5. Back Ground: No background material/Boards will be erected. Alphabets will be installed directly on facade on buildings. However, in specialized case, background material may be installed with prior permission of Chief Architect (Commercial) Design Wing.
6. Before installing sign Boards, it is mandatory to get signage plans approved from Chief Architect (Commercial) Design Wing, Bahria Town Rawalpindi/Islamabad.
7. Fixing arrangements like hooks etc. shall be planned adequately.
8. On the face of shop 2' wide space is provided to fix hoarding.
9. For the visual display hoarding Large Screen TV shall be placed such that attention of the drivers is not distracted.
10. Sound is not allowed in advertisement.
11. Electrical & Structural responsibility of the signs shall be the responsibility of the owner.
12. The name of the owner, mobile number and address shall be displayed on the side of his/her hoarding.
13. Any hoarding at any time can be dismantled by Building Control Department.
14. The size, shape, weight, look, structure stability and electrical safety, shall be submitted to Building Control Department for approval. The large hoardings are the responsibility of Civil/ Mechanical Engineer.

### 5.6.2 RAMPS AND STAIR CASES

Ramps and stairs should not be constructed within the Right of Way (ROW) of the Roads/Streets. If deemed to be constructed then these shall be built beyond the Property Line.

### 5.6.3 FINISH FLOOR LEVEL

Finish Floor Level of the ground floor shall not be more than 4.5 ft., from front road level in case of lower ground and basements.

### 5.6.4 LIFTS

1. Lifts shall be provided on all the floors including basement in all commercial & public buildings having more than 03 storeys and residential apartments / flats having more than 04 storeys. Such lift shall be of size which can accommodate a wheel chair. In case of no-provision of lifts, wheel chair lifter shall be provided.
2. Lifts shall conform to the international standards with respect to all safety devices and specification.

**5.6.5 SUPPORTING COLUMNS**

Supporting Columns of the building shall be erected within plot limits.

**5.6.6 SOLAR PANEL**

1. Solar panel height should not exceed the height of mumty & no structure is allowed under solar panel.
2. Solar system is recommended in high-rise commercial buildings, for installation and heights review sop's.
3. Solar panels maybe allowed as per site conditions & scenario.

**5.6.7 WIRE MESH SHUTTER**

1. Wire mesh shutter is mandatory in grill.
2. Wire mesh fence & cat ladder is mandatory on mumty not for lift maintenance & safety.

**5.6.8 HANDICAP ACCESS**

Handicap access is mandatory in all plaza's.

**5.6.9 BUSINESS MANAGEMENT ROOM (BMR)**

For every plaza management, business management room is mandatory.

**5.6.10 ELECTRIC GEYSERS**

Electric geysers are mandatory especially for high-rise building.

**5.6.11 PROJECTIONS**

Projection shall be constructed as per bye laws of CDA / RDA / DC / MCR in their respective control areas.

**5.6.12 CEILING HEIGHT**

Ceiling height for commercial buildings is maximum 12 feet and minimum 10 feet.

**5.7 MUMTY**

Construction of Mumty is allowed but keeping in view the following:

PLOT SIZE	ALLOWABLE MUMTY AREA	EXTENSION	TOTAL AREA	PAYMENTS
20' x 30'	200sqft/plot or depends on location.	No Ext	200/plot	-----
30' x 30'	300Sqft/plot.	No Ext	300/plot	-----
30' x 40'	300	120 Sqft	420/Sqft	Payment of 2500/sqft Total=300,000

40' x 40'	400	160 sqft	560 sqft	Payment of 2500/sqft Total=400,000
40' x 45'	420	180 Sqft	600/Sqft	Payment of 2500/sqft Total=450,000
40' x 60'	600	240 Sqft	840/Sqft	Payment of 2500/sqft Total=600,000
1K	1200	480 Sqft	1680/Sqft	Payment of 2500/sqft Total=12,00,000

The front part of the Mumty can only cover half of the frontage of building in 5, 8 and 10 Marla and 1/3<sup>rd</sup>. of frontage in 1 kanal.

Note: Mumty shall not cover full width of the building.

## 5.8 STRUCTURES ON ROOFS

Only the following structures of permanent nature may be constructed on roofs provided they are designed and built to the satisfaction of the Management:

1. Chimneys/air conditioning and other ducts, vents and wind catchers.
2. Water tank suitably designed.
3. Radio and television antenna post.
4. Parapet walls of 3 feet height from finished floor level.
5. Stair tower/Mumty.
6. Lift rooms, Sky light, etc.
7. No communication antennas/towers of any type and billboards are allowed on the rooftop of any building.

## 5.9 DESIGN STRATEGIES & S.O.P's

SR#	PROVISIONS	5 MARLA	10 MARLA	15 MARLA	16 MARLA AND ABOVE
1	NO. OF FLOORS	AS PER LOCATION	AS PER LOCATION	AS PER LOCATION	AS PER F.A.R
2	MUMTY/ PENT HOUSE AREA	AS PER PLOT CATEGORY IN S.O.P'S	AS PER PLOT CATEGORY IN S.O.P'S	AS PER PLOT CATEGORY IN S.O.P'S	AS PER F.A.R
3	MEZZANINE FLOOR	AS PER LOCATION	AS PER LOCATION	AS PER LOCATION	AS PER LOCATION
4	GARBAGE CHUTE	OPTIONAL	OPTIONAL	OPTIONAL	MANDATORY
5	OCCUPANT STAIRCASE	4'-0" WIDE	4'-6" WIDE	4'-6" WIDE	AS PER REQUIREMENT / TRAFFIC INFLUX

6	<b>EMERGENCY STAIRCASE</b>	SPRIAL STAIRCASE OF 6'-0"X6'-0"	4'-0" WIDE STAIRCASE	4'-0" WIDE STAIRCASE	4'-0" WIDE STAIRCASE
7	<b>LIFT/ ELEVATOR</b>	MANDATORY CDA:SIZE 6'-0"X6'-6" RDA:5'-0"X6'-6"	MANDATORY CDA:SIZE 6'-0"X6'-6" RDA:5'-0"X6'-6"	MANDATORY CDA:SIZE 6'-0"X6'-6" RDA:5'-0"X6'-6"	MANDATORY CDA:SIZE 6'-0"X6'-6" RDA:5'-0"X6'-6"
8	<b>CARGO LIFT/ ELEVATOR</b>	OPTIONAL	OPTIONAL	OPTIONAL	MANDATORY SIZE 6'-0"X8'-0"
9	<b>BMS (BUILDING MANAGMENT ROOM)</b>	MANDATORY - 100 SQFT	MANDATORY - 100 SQFT	MANDATORY - 100 SQFT	MANDATORY - 100 SQFT
10	<b>ELECTRIC AND GAS METER ROOM</b>	OPTIONAL	OPTIONAL	OPTIONAL	MANDATORY
11	<b>HANDICAP LIFTER/ RAMP (FOR GROUND AND BASEMENT)</b>	MANDATORY HANDICAP LIFTER	MANDATORY HANDICAP LIFTER	MANDATORY HANDICAP LIFTER	MANDATORY RAMP
12	<b>HANDICAP STALL</b>	ONE SIZE- 5'-0 "X 5'-6"	ONE SIZE- 5'-0 "X 5'-6"	ONE SIZE- 5'-0 "X 5'-6"	TWO (MALE AND FEMALE) SIZE- 5'-0 "X 5'-6"
13	<b>COORIDOR CONNECTION</b>	MANDATORY	MANDATORY	MANDATORY	MANDATORY
14	<b>SOLAR PANELS</b>	ONLY BY MANAGEMENT ON APPLICATION	ONLY BY MANAGEMENT ON APPLICATION	ONLY BY MANAGEMENT ON APPLICATION	ONLY BY MANAGEMENT ON APPLICATION
15	<b>TANK SIZES (U.G.W.T , SUMP &amp; O.H.W.T)</b>	PER MEP ENGINEER RECOMMENDATIONS	PER MEP ENGINEER RECOMMENDATIONS	PER MEP ENGINEER RECOMMENDATIONS	PER MEP ENGINEER RECOMMENDATIONS
16	<b>SIGN BOARDS (TO FOLLOW SIZE FORMAT)</b>	APPROVAL FROM DESIGN WING REQUIRED	APPROVAL FROM DESIGN WING REQUIRED	APPROVAL FROM DESIGN WING REQUIRED	APPROVAL FROM DESIGN WING REQUIRED
17	<b>GENERATOR BASE</b>	PER STRUCTURE ENGINEER RECOMMENDATIONS	PER STRUCTURE ENGINEER RECOMMENDATIONS	PER STRUCTURE ENGINEER RECOMMENDATIONS	PER STRUCTURE ENGINEER RECOMMENDATIONS

### 5.10 RAMP AND TOILET FOR DISABLED PERSONS

In all commercial buildings, public buildings and apartments a ramp of minimum 6feet width and having maximum gradient of 1:6 should be provided. In case of no-provision of lifts, each floor should be accessible through this ramp. A toilet for disabled must also be provided.

### 5.11 SOLID WASTE MANAGEMENT

Refuse chutes shall be provided in multistory building for disposal of solid waste.

All buildings other than houses shall provide adequate storage space for storing of solid waste equal to at least 24 hours of generation.

2. Garbage chutes access, to be provided from common area, i.e. Corridors, hallways, etc.
3. Chutes need to be without any turns, should always be straight
4. All chutes need to have aluminum duct liners, properly sealed without any possibility of leakage.
5. Large storage containers need to be underneath the refusal area.  
It is the responsibility of owner / owner Management to transfer garbage to the building container and from there to the Bahria Town solid waste management area.
6. Garbage chutes are mandatory to be cleaned on regular basis  
All chutes require spraying of bacterial or insect killers inside the refusal or chute area.

**5.12 INSTRUCTIONS FOR SHOP OWNERS**

1. Garbage shall not be thrown in front of shops/public buildings. Shopkeepers shall place dustbin in front of their shops and place the garbage in dustbin from where it will be picked up.
2. Air conditioners shall be installed at the rear of the building if service lane exist or on roof top if service lane does not exist between back-to-back plots and proper arrangements shall be made for drainage of water. Preferably split type of air conditioners may be installed. On front and front/side of corner plots AC outdoor units, geysers, fiber glass shades are not allowed.
3. Wall chalking, writing on walls and pasting of posters etc. on the walls shall not be allowed.
4. The shop owners are not allowed to put any kiosk/seating arrangement/stalls etc. outside the limits of their premises. The arcades/walkways shall be unhindered and clear.

**5.13 CHAMFERING OF CORNER PLOTS**

Plots less than 250 SQY. shall be chamfered at 6 ft., and above than 250SQY. shall be chamfered at 10' for traffic friendly needs.

**5.14 CNG / PETROL FILLING STATIONS (RDA)**

1. A petrol or CNG station may be located only on main collector road having a right of way of at least 80 ft.
2. A minimum of 20 ft. (6.1m) building line shall be provided.
3. The minimum street frontage of a petrol or CNG Station shall not be less than 60 ft.
4. Access roadways of petrol or CNG stations shall be constructed in accordance with the following requirements:
  - i. No access roadway may cross the sidewalk at an angle of more than 45 degrees.
  - ii. The width of each lane shall be at least 12 ft.
  - iii. Both in and out roadway shall be provided, respectively leaving and entering the approach traffic at an angle not more than 45 degrees.
5. All structures shall be single storey.
6. No basement would be allowed.
7. Provision of canopy over the pumps would be compulsory.
8. A clear space of 10 ft. (3.04m) shall be provided on both sides and at the rear.
9. Adequate space shall be provided in petrol stations for parking for oil supply tankers while discharging its load.
10. Not less than lavatory shall be provided at each petrol or CNG Station exclusively for public use (for both ladies and gents separately) in addition to lavatory provided for the staff.
11. Provision of garbage/refuse-bin would be compulsory.
12. Petrol or CNG Stations can be allowed on commercial plots after conversion into specific designated petrol pump or CNG use provided all requirement noted above are met and after calling of public objections through press and with the permission of Bahria Town on payment of prescribed fees.



13. Existing petrol pump, CNG facility shall be allowed only if the area is 1000 SQY or more.
14. A single storey office and retail mart or shop shall be permitted on an area not exceeding 5% of the plot area in addition to the tyre and puncture shop for incidental purposes, telephone booth and drinking water facility.
15. Distance between two dispensers shall not be less than 24 ft.
16. Distance between dispenser and road edge shall not be less than 18 ft.
17. The minimum width, depth and area of the plot shall be in accordance with the notification of the Government.

<b>Pump</b>	<b>Min. Area</b>	<b>Min. ROW</b>	<b>Min. Front</b>
<b>Petrol</b>	<b>1-1.5 K</b>	<b>80'</b>	<b>70'</b>
<b>CNG</b>	<b>1 K</b>	<b>80'</b>	<b>60'</b>

**Note:**

All requirements of Ministry of Industries, Ministry of Petroleum, Civil Defense Department, Explosives Department, EPA and any other concerned agencies shall be complied with by the builder.

**5.15 CNG / PETROL FILLING STATIONS (CDA)**

Maximum Ground Coverage	25 % excluding canopy for filling points
Uses	Tuck Shop / Snack & Coffee shop, Tyre Shop/ Service Station
Maximum storey	02
Minimum Setback	Front=20'-0" Side=10'-0" Rear=5'-0"
Public and Disabled toilets	02 Nos. must be provided

**5.16 MARQUEE PLOT (RDA)**

- I. Minimum Area 08 Kanals
- II. Parking 04 Kanals (50% Covered)
- III. Set Backs
  - i. Front 30'
  - ii. Rear 13'
  - iii. Sides 13'

IV. Minimum right of way of Road = 60'

### 5.17 THEATER, CLUBS & MARRIAGE HALLS (RDA)

- |      |                                |  |
|------|--------------------------------|--|
| I.   | Minimum Area                   | 04 Kanals                                |
| II.  | Parking                        | 04 Car spaces for 1000 sft of Floor Area |
| III. | Set Backs                      |  |
|      | i.                             | Front      40'                           |
|      | ii.                            | Rear       15'                           |
|      | iii.                           | Sides      15'                           |
| IV.  | Minimum right of way of Road = | 60'                                      |

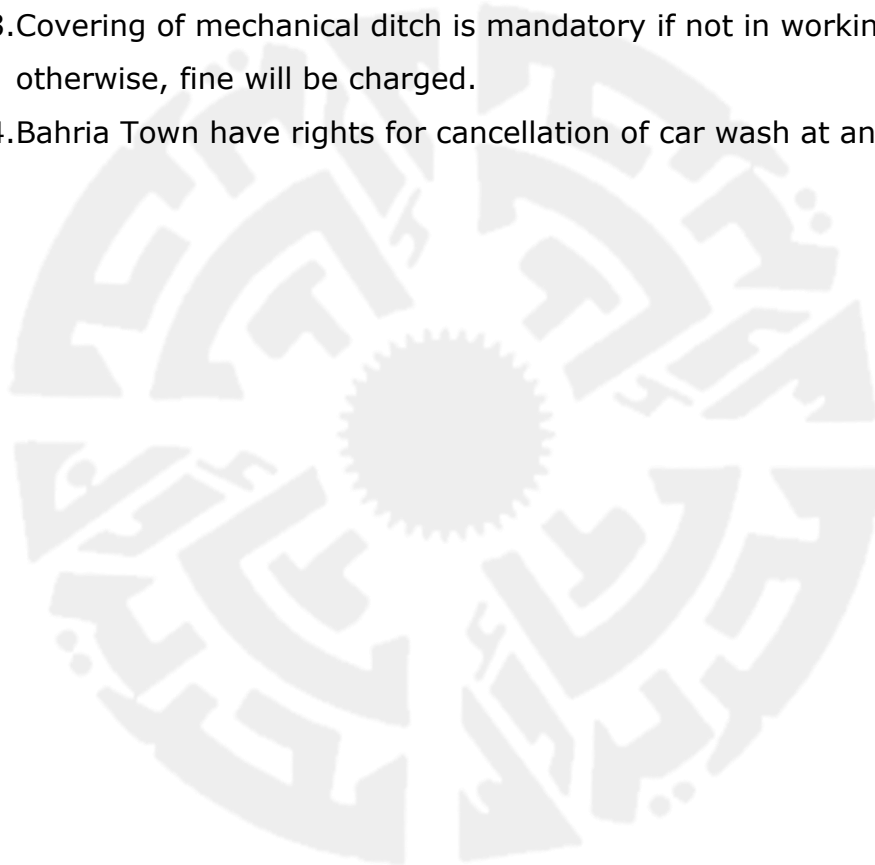
### 5.18 MARQUEE PLOT (CDA)

- Minimum Area Requirement = 2000 Sq. Yards
- Maximum Ground Coverage = 50%- including kitchen & other amenities
- Maximum No. of Storeys = 02
- Maximum F.A.R = 1:1
- Minimum Setbacks = Front 30', Sides 15', Rear 15'
- Parking = One car space for each 250 Sq.ft. of Covered area
- Minimum Frontage = 100'
- Minimum right of way of Road = 60'
- Fire and safety standards as per Building Code of Pakistan (Fire safety provisions 2016)
- Structural Design to be prepared & vetted by licensed professional engineer in accordance with applicable Building Code.
- Solid Waste Management plan to cater for the disposal of garbage generated from the premises @ of 1kg/person/event shall be submitted along with the plans for approval. Garbage shall be transported to the approved disposal sites.

### 5.19 STANDARDS FOR SERVICE STATION (RDA/CDA)

1. Whole building will be of temporary structure (in case to re built as plaza).
2. Proper washing area will be provided.
3. Maximum 600 sft area will be allowed for servant area as per plot criteria at first floor.
4. Provision of water tank is compulsory.
5. Provision of mechanical ditch is compulsory.
6. Only one service station is allowed in one commercial area (up to 50 plots).
7. Maximum ramp height will be 01 feet.
8. 50 % fee of total amount will be charged for service station

- (non-refundable).
9. Water in use should be recycled and reused.
  10. Renewal fee will be charged yearly (Non-refundable).
  11. After issuing NOC for car wash the time duration for Completion of full plaza is maximum 2 years.
  12. Preferably entrance of the car wash should be from Rear Road side in case of the complete Plaza design.
  13. Covering of mechanical ditch is mandatory if not in working situations otherwise, fine will be charged.
  14. Bahria Town have rights for cancellation of car wash at any stage.



BAHRIA TOWN

**5.20 BUILDING HEIGHTS / NO OF FLOORS / FAR / GROUND COVERAGR FOR COMMERCIAL UNITS BAHRIA TOWN RWP/ ISB PROJECTS**

NAME / LOCATION OF COMMERCIAL AREA	CATEGORY	Max. NO. OF FLOORS	Max. Coverage	Max. Coverage2 Subsequent Floors	ALLOWABLE F.A.R	MAX. PERMISSIBLE HEIGHT
Commercial Phase II, Street No 39 (30' x 40')	N. Hood Commercial	L.G.F+ G.F + 2	7/8	3/4	1:2.3	40'
Commercial Phase II, Street No 39 (40' x 60')	N. Hood Commercial	L.G.F+ G.F + 2	7/8	3/4	1:2.3	40'
Commercial Phase III, Road H	N. Hood Commercial	L.G.F+ G.F + 3	7/8	3/4	1:5	70'
Civic Center - Phase IV	Main Commercial	L.G.F+ G.F + 4	7/8	3/4	1:5	70'
Commercial - Commercial Ave. / Park Road Phase IV	N. Hood Commercial	L.G.F+ G.F + 2	7/8	3/4	1:2.3	40'
Commercial - Phase V, Road B	Main Commercial	L.G.F+ G.F + 3	7/8	3/4	1:5	70'
Commercial - Phase V, Street No. 2	N. Hood Commercial	L.G.F+ G.F + 2	7/8	3/4	1:2.3	40'
Commercial - Central Avenue Phase VI	N. Hood Commercial	L.G.F+ G.F + 1	7/8	3/4	1:1.6	25'
Commercial - Central Avenue Phase VII	N. Hood Commercial	L.G.F+ G.F + 2	7/8	3/4	1:2.3	40'
Commercial - Central Road C, Phase VIII	N. Hood Commercial	L.G.F+ G.F + 1	7/8	3/4	1:1.6	25'
River View/ Mini/ Midway Commercials	Main Commercial	L.G.F+ G.F + 3	7/8	3/4	1:5	70'
Bahria Business Square, BGC	Main Commercial	L.G.F+ G.F + 3	7/8	3/4	1:5	70'
Main Commercial - Spring (N), Expressway	Main Commercial	L.G.F+ G.F + 3	7/8	3/4	1:5	70'
Linear Commercial - Safari Homes	Main Commercial	L.G.F+ G.F + 3	7/8	3/4	1:5	70'
Down Town Commercial-Safari Valley	Main Commercial	L.G.F+ G.F + 4	7/8	3/4	1:5	70'
Commercial On Abu - Baker / Ali Avenue Safari Valley	Main Commercial	L.G.F+ G.F + 4	7/8	3/4	1:5	70'
Usman Shopping Complex - Usman Avenue	Main Commercial	L.G.F+ G.F + 3	7/8	3/4	1:5	70'
Commercial - Ghazi Abbas Road, Umar Block	N. Hood Commercial	L.G.F+ G.F + 2	7/8	3/4	1:2.3	40'
Commercials - Rafi Block (30' x 40')	Main Commercial	L.G.F+ G.F + 3	7/8	3/4	1:5	70'
Commercial - Phase-VIII, 1-A Commercial (75' X 120')	Central Business District	2 Basements +G.F+7	7/8	3/4	1:8	110'
Commercial - Phase-VIII, 1-A Commercial (30' X 60')	Central Business District	L.G.F+ G.F + 7	7/8	3/4	1:8	90'
Commercial - Phase-VIII, 1-A Commercial (30' X 40')	Central Business District	L.G.F+ G.F + 7	7/8	3/4	1:8	90'
Commercials Middle Ring Road , Phase VIII		L.G.F+ G.F + 3				
Lake View Commercials	Central Business District		55%		1:8	200'
Shops (All Phases)	Sub Neighborhood Commercial	Single Storey	100%	N/A	1:1	10'

Commercial (20' X 30') All phases	Neighborhood Commercial	L.G+G+1	100%
Commercial (15' X 20') All phases	Sub Neighborhood Commercial	L.G+G	100%
Commercial (30' X 40'/ 40' X 45') Bahria Enclave	Neighborhood Commercial	L.G+G+3	100%



## **5.21 DESIGN PROCESS AND FEE STRUCTURE UPTO 5 STOREYS AND 1 KANAL PLOTS (ARCHITECTURAL PLANS ONLY)**

### **5.21.1 TIME SCHEDULE (ARCHITECTURAL PLANS ONLY)**

**SCENARIO 1:** In Case of Selection from already Approved Architectural Plans, Minimum 14 Working Days will be required to Finalize Architectural drawings.

**SCENARIO 2:** In Case of New Design, 20 Working Days will be required to Finalize the Architectural Drawings after client Finalizes Floor Plans.

### **5.21.2 DESIGN PROCESS**

1. Design Payments to be deposited in advance in united Bank limited, Bahria Town Phase 8 Branch.
2. Appointment with the Design Architect (list attached).
3. Get Design Options & Finalize the Plan.
4. Elevations are fixed for all Commercial Areas. However, Client may have Floor Plans of his/her Choice.
5. After the Finalization of the Architectural Plans, CD of the Architectural Plans will be handed Over to Client so that he/she can hire Soil, Structural, Vetting and MEP Consultants at his/her own (list attached).
6. Bahria Town does not take responsibility of soil testing / structural designs/Construction and MEP Supervision of Buildings. Building Control Department only enforces Bye Laws/ SOP'

## 5.21.3 DESIGN (PAYMENTS)

**SITUATION 1:**

Design (Architecture) done by Design Wing Bahria Town (Pvt.) Ltd.

Plot Size	12x18	15x20	16x25	15x35	20x30	20x30
<b>No. Of Floors</b>	G	B+G	As Per Location	As Per Location	As Per Location	As Per Location
			B+G+1	B+G+2	B+G+1	B+G+2
<b>Design Charges</b>	RS 125,000/-	RS 190,000/-	RS 315,000/-	RS 375,000/-	RS 315,000/-	RS 405,000/-
<b>Security</b>	RS 32,000/-	RS 32,000/-	RS 32,000/-	RS 32,000/-	RS 32,000/-	RS 32,000/-
<b>Extra Land Design Charges</b>	N/A	N/A	N/A	N/A	RS 125/SFT/-	RS 125/SFT/-
<b>CDA Submission Dwgs Preparation Fee Only</b>	RS 60,000/-	RS 60,000/-	RS 60,000/-	RS 60,000/-	RS 60,000/-	RS 60,000/-
<b>CDA Submission Completion Dwgs Submission Preparation Fees</b>	RS 60,000/-	RS 60,000/-	RS 60,000/-	RS 60,000/-	RS 60,000/-	RS 60,000/-
<b>RDA/MCR Submission Dwgs Preparation Fee Only</b>	RS 65,000/-	RS 65,000/-	RS 65,000/-	RS 65,000/-	RS 65,000/-	RS 65,000/-
<b>RDA/MCR Submission Completion Dwgs Submission Preparation Fees</b>	RS 65,000/-	RS 65,000/-	RS 65,000/-	RS 65,000/-	RS 65,000/-	RS 65,000/-
<b>RDA/MCR Fire Fighting Submission (Completion) Fee</b>	Rs 30,000/-	Rs 30,000/-	Rs 30,000/-	Rs 30,000/-	Rs 30,000/-	Rs 30,000/-
<b>Completion Certificate Charges</b>	RS 40,000/-	RS 40,000/-	RS 40,000/-	RS 40,000/-	RS 40,000/-	RS 40,000/-

<b>Plot Size</b>	<b>32.5x30</b>	<b>30x40</b>	<b>30x40</b>	<b>40x40</b>	<b>40x45</b>	<b>40x60</b>	<b>50x90</b>
<b>No. Of Floors</b>	B+G+3	B+G+3	B+G+4	B+G+3	B+G+3	B+G+3	B+G+3
<b>Design Charges</b>	RS 435,000/-	RS 530,000/-	RS 600,000/-	RS 625,000/-	RS 690,000/-	RS 935,000/-	RS 1,250,000/-
<b>Security</b>	RS 32,000/-	RS 32,000/-	RS 32,000/-	RS 32,000/-	RS 32,000/-	RS 65,000/-	RS 65,000/-
<b>Extra land Design Charges</b>	RS 125/SFT	RS 125/SFT	RS 125/SFT	RS 125/SFT	RS 125/SFT	RS 125/SFT	RS 125/SFT
<b>CDA Submission Dwgs Preparation Fee Only</b>	RS 60,000/-	RS 60,000/-	RS 60,000/-	RS 60,000/-	RS 95,000/-	RS 95,000/-	RS 125,000/-
<b>CDA Submission Completion Submission Preparation Fees</b>	RS 60,000/-	RS 60,000/-	RS 60,000/-	RS 60,000/-	RS 95,000/-	RS 95,000/-	RS 125,000/-
<b>RDA/MCR Submission Dwgs Preparation Fee Only</b>	RS 65,000/-	RS 65,000/-	RS 65,000/-	RS 65,000/-	RS 95,000/-	RS 95,000/-	RS 125,000/-
<b>RDA/MCR Submission Completion Submission Preparation Fees</b>	RS 65,000/-	RS 65,000/-	RS 65,000/-	RS 65,000/-	RS 95,000/-	RS 95,000/-	RS 125,000/-
<b>RDA/MCR Fire Fighting Submission (Completion) Fee</b>	RS 30,000/-	RS 30,000/-	RS 30,000/-	RS 30,000/-	RS 40,000/-	RS 40,000/-	RS 40,000/-
<b>Completion Certificate Charges</b>	RS 40,000/-	RS 40,000/-	RS 40,000/-	RS 50,000/-	RS 50,000/-	RS 55,000/-	RS 60,000/-



Plot Size	1.5 k	2 k	3 k	4 k	5 k	6 k
<b>No. Of Floors</b>	B+G+3	B+G+3	As Per FAR	As Per FAR	As Per FAR	As Per FAR
<b>Design Charges</b>	RS 1,750,000 /-	RS 2,250,000 /-	RS 3,375,000 /-	RS 4,500,000/ -	RS 5,625,000/ -	RS 6,750,000/ -
<b>Security</b>	RS 65,000/-	RS 65,000/-	RS 65,000/-	RS 65,000/-	RS 65,000/-	RS 65,000/-
<b>Extra Land Design Charges</b>	RS 125/SFT	RS 125/SFT	RS 125/SFT	RS 125/SFT	RS 125/SFT	RS 125/SFT
<b>CDA Submission Dwgs Preparation Fee Only</b>	RS 155,000/-	RS 190,000/-	-	-	-	-
<b>CDA Submission Completion Submission Preparation Fees</b>	RS 155,000/-	RS 190,000/-	-	-	-	-
<b>RDA/MCR Submission Dwgs Preparation Fee Only</b>	RS 160,000/-	RS 190,000/-	-	-	-	-
<b>RDA/MCR Submission Completion Submission Preparation Fees</b>	RS 160,000/-	RS 190,000/-	-	-	-	-
<b>Completion Certificate Charges</b>	RS 70,000/-	RS 70,000/-	RS 85,000/-	RS 95,000/-	RS 110,000/-	RS 120,000/-

BAHRIA TOWN

**5.21.3.1 FOR BUSINESS DISTRICT PLOTS**

Plot Size	30x40	40 x120	40 x150	60 x 120	75 x 120
No. of Floors	(B+G+6)	(B+G+6)	(B+G+6)	(B+G+6)	(B+G+6)
Design Charges	Rs 1,565,000	Rs 2,500,000	Rs 2,650,000	Rs 2,800,000	Rs 3,150,000
Security Charges	Rs 32,000/-	Rs 65,000/-	Rs 65,000/-	Rs 65,000/-	Rs. 65,000/-
Extra Land Design Charges	Rs 125/sft	Rs 125/sft	Rs 125/sft	Rs 125/sft	Rs 125/sft
MCR Submission Drawings Preparation Fee Only	Rs 315,000/-	Rs 435,000/-	Rs 685,000	Rs 935,000/-	Rs 1,065,000/-
MCR Submission Completion Submission Preparation Fee	Rs 315,000/-	Rs 435,000/-	Rs 685,000/-	Rs 935,000/-	Rs 1,065,000/-

- Above 6 kanal design payment of Rs.42/SFT will be charged.
- For Additional Floor if allowed, then Payment of Rs 625,000/- will be charged.
- For Extra Basement if required, Additional Payment of Rs.625, 000/- will be charged.
- For Extra Basement / Extra Floor in Business District Rs. 1,250,000/- will be charged.
- RS 500/SFT will be charged for any additional /enhanced area after approval from Head Design Wing.
- For submissions, Documents and Drawings will be provided by client along with departmental fees.
- Scrutiny fee for authority will be charged by concerned authority itself.
- Upto 10 kanals Design payment of Rs. 42/Sft will be charged.
- Design Fee of Petrol Pump is RS. 250,000/-.
- Design Fee of Service Station / Car Wash (Temporary Structure) will be charged 50% of actual plot category.
- Scrutiny fee for Authority will be charged by any development Authority itself.
- Payment will be refunded within 6 months on monthly installments after approval of Head Design Wing.
- Elevation cannot be changed where Elevation is fixed.
- 50% of Design Fee will be charged for Bahria Town employees.

**5.21.4 SITUATION 2: DESIGN APPROVAL (PAYMENTS)**

In case of Design Approval (Architecture Only)

Submitted by External Architects / Consultants for Design Approval.

(Submit Soft Copies Including 3 Hard Copies of Each of Architectural Drawings, Soil Test report, Structural Drawing and MEP Drawings.)

2a) Up to 10 Marla, 90% of the Design Fee will be charged.

2b) Above 10 Marla, up to 10 Kanal, Rs.37.8/SFT will be charged as scrutiny fee.

- 40% of full payment will be charged initially
- Remaining 40% will be charged on approval of elevation from C.E.O
- 20% on final Architectural NOC.

2c) Above 10 Kanal, RS. 25/SFT will be charged as scrutiny fee.

- 40% of full payment will be charged initially
- Remaining 40% will be charged on approval of elevation from CEO
- 20% on final Architectural NOC.

2d) Scrutiny revision charges will be applied in case of changing in drawings.

(See Scenario 3)

### 5.21.5 SITUATION 3: DESIGN CHARGES REVISION, PAYABLE AFTER FINALIZATION (ISSUANCE) OF ARCHITECTURAL PLANS

Plot Size	Up to 19 Marla	1 kanal	2 kanal & above
<b>Major Revision</b>	25% of current fee	25% of current fee	25% of current fee
<b>Full Revision</b>	50% of current fee	50% of current fee	50% of current fee
<b>Additional / Enhanced area after approval from head design wing</b>	500/2500SFT Depends on case	500/2500SFT Depends on case	500/2500SFT Depends on case
<b>Floor Revision</b>	32,000	60,000	80,000
<b>Duplicate Set</b>	15,000	15,000	15,000
<b>Mumty Revision</b>	30,000	45,000	45,000
<b>Elevation Revision</b>	50,000	100,000	300,000
<b>Misc. Revision</b>	Rs=15/SFT	Rs=15/SFT	Rs=15/SFT
<b>Scrutiny Revision</b>	Minor revision 20% of current fee Major revision 40% of current fee		
<b>Raise in Height of Penthouse upto 10'</b>	50,000	100,000	200,000
<b>DVC Preparation fee for CDA</b>	50,000	50,000	50,000
<b>Change in approved color scheme</b>	10,000	10,000	10,000

#### 5.21.6 **SITUATION 4: For Duplicate and Rename set, Mandatory fee in case plaza is not constructed(Payment not applicable if already made)**

##### Security Fee

- Up to 8 Marla = Rs. 32,000/-
- Above 8 Marla = Rs. 65,000/-

#### 5.21.7 **MISCELLANEOUS PAYMENTS AND ACCOUNTS DETAIL**

a) Duplicate Inspection Card verified by BCD:	Rs. 6,000/-
b) Duplicate Inspection Card not verified by (B.C.D):	Rs. 60,000/-
c) Duplicate Arch. Drawing, NOC & CC:	Rs. 15,000/-
d) Change in Ownership on Drawings & Documents:	Rs. 15,000/-

##### Notes:

1. **100 % Payment** is to be deposited in advance.  
**1(a)** Design charges more than one crore, design fees will be charged in minimum of six instalments on client's request.
2. Payment is valid for **1 Year only**.
3. In case of change of Ownership of Plot, Design Charges if to be refunded will be refunded to the Original Owner.
4. Payments deposited are refundable with 10% deduction.
5. Any refundable amount, approved by HOD, will be reimbursed within three-six months in the form of instalments.
6. CASH / PAY-ORDER & DEMAND DRAFT may be deposited in:  
**Bank:** UBL-Phase 8 Branch  
**Account title:** Bahria Town (Pvt.) Ltd. Design Wing Commercial.  
**Account #:** 0109000279590262
7. **Online Payments** are also possible.
8. **Direct Payments** i.e., Cheques/Cash are not acceptable in Design Wing.
9. As mention in RDA / CDA society cover letters for submissions, the statement, **"THE PLOT IS FREE FROM ALL ENCUMBRANCES"**, means clearance of observations if any.

#### 5.21.8 **DOCUMENTS REQUIRED TO INITIATE/APPROVE DESIGNS**

1. Owner's CNIC (Copy).
2. Allotment Letter (Copy).
3. Possession Letter (Copy) Not older than 1 Year.
4. NDC (No Demand Certificate) Copy for Phase 1 to 6 Plots Only.
5. Payment Receipt of Design Fee.
6. In order to get NOC for execution, following documents will be submitted along with above mentioned documents.
7. Soft and Hard copies (2 Copies each) of Soil Report, Architectural, Structural (Design and

Vetted along with Structural Stability and Vetting Certificates), Technical Specs, Design Calculations Book & Computer Model) & MEP Designs will be submitted in Design Wing for record and issuance of NOC for execution.

8. Traffic Impact Assessment (TIA) and Environmental Impact Assessment (EIA) reports will be provided by Client for buildings taller than 4 Storeys or having plot area 6 Kanals or more.
9. NOC's from Civil Defense and Rescue 1122 for buildings taller than 4 Storeys or having Plot areas 6 Kanals or more.
10. Building Plans will be submitted and approved from RDA/DC/MC/CDA by Client himself/herself.
11. Undertaking as per "Annex 5-A" will be submitted by the Client on a Stamp Paper of Rs 100. Without Undertaking, NOC for Execution will not be issued.
12. Shoring pile completion certificate from BCD.

#### **5.21.9 NOC FOR EXECUTION (CIVIL WORKS)**

1. Upon fulfillment of requirements, Chief Architect (Commercial) will issue formal NOC for Execution. Upon Violation, Chief Architect reserves the right to cancel the NOC.
2. Entire Responsibility of the Stability of the Structure/ building will be of Client and his/her consultants.
3. Entire responsibility of the MEP will be of Client and his/her consultants.
4. Any approval required from RDA/CDA will be managed by Client himself.

#### **5.21.10 IMPORTANT INFORMATION**

1. There are no approved contractors of Bahria Town (Pvt.) Ltd. Rawalpindi / Islamabad.
2. Prior to the construction activity, client should remove the tiles from the walkways and stack it at a safe place as these will be reused once the structure is completed.
3. Only manual excavation is allowed for basements near Bahria Town's service/utilities areas and adjacent constructed buildings. In case of damages to the adjacent building, the owner of the plot shall be solely responsible.
4. Excavated Material can only be dumped in the adjacent vacant plot. Make sure that only one plot is used for the dumping of excavated Material.
5. After the excavation, the client will have to immediately remove the excavated soil from the site and dispose of it at the designated sites for dumping.
6. During the course of construction, building material can only be dumped or stacked in the adjacent vacant plot. Only one plot will be allowed to be used for this purpose.
7. Construction and supervision activities must be recorded and signed by the respective consultants and building control department cards.
8. Exterior finishes i.e., Color, materials etc. will be issued by the Chief Architect.
9. Approval of Exterior Finishes (color, paints, materials etc.) is mandatory from Chief Architect Design Wing (C). Upon violation, see Annexure W. Rectification will be done by the client at his / her own expenses.
10. Any required MS material due to structure stability or as elevation element, is supposed to get maintained / painted each year with approval from Design Wing and record needs to be maintained for Design Wing. In case of selling of house / building, this will be transferred to next owner. Skipping this will result in disconnection of Bahria Town

Utilities from the maintenance department.

11. No type of any single element / utility services will be exposed on the elevation.

If so, it will be removed without notice by Bahria Town Maintenance and Enforcement.

12. Floor Levels should be strictly followed as per approved Plans.
13. Fiber Glass shade is not allowed in the front/sides/rear, open to green areas and roads.
14. Outdoor air conditioning units and geysers are not allowed to be installed on the front/sides/rear, open to green areas and roads.
15. Defaulters shall be liable to a fine which may extend up to see Annexure W depending upon the gravity of violation.
16. Main Entry to all floors must be from parking side only.
17. No ramp/steps are allowed outside property line.

#### **5.21.11 PERMISSIBLE NO. OF FLOOR FOR DIFFERENT COMMERCIAL CENTERS**

- |   |               |
|---|---------------|
| 1. Civic Center                                 | (B+G+5)       |
| 2. Midway Commercial / Mini Commercial          | (B+G+4)       |
| 3. Mini Commercial Extension (I & II)           | (B+G+4)       |
| 4. River View Commercial                        | (B+G+3)       |
| 5. Square Commercial                            | (B+G+3)       |
| 6. Hub Commercial                               | (B+G+4)       |
| 7. Rafi / Linear Commercial                     | (B+G+3)       |
| 8. Ali Haider/Abu Baker Commercial              | (B+G+4)       |
| 9. Spring North Commercials                     | (B+G+3)       |
| 10. Theme Park Commercial Springs North         | (B+G+3)       |
| 11. Bahria Business Junction                    | (B+G+4)       |
| 12. Central Business District (CBD) (F.A.R 1:8) | (B+G+7)       |
| 13. Commercials Middle Ring Road                | (B+G+4)       |
| 14. Commercials (20' x 30')                     | (B+G+2)       |
| 15. Commercials (15' x 20')                     | (B+G)         |
| 16. Shops                                       | Single Storey |

#### **5.21.12 FINAL NOC TO OCCUPY BUILDINGS**

Upon Completion of Buildings as per approved Design, Client will submit following documents in Building Control Department for processing of Final NOC.

1. Completion Certificate from Structural Consultant
2. Completion Certificate from Fire Fighting and MEP Consultant.
3. Final NOC Form (To be obtained from Building Control Department). (Annex. 5-B)
4. Three NOC Forms (Electricity, Gas and Sewerage) (To be obtained from Building Control Department BCD).
5. All electrical, gas and water service meters are mandatory to be installed and related NOC's to be applied from Maintenance and submitted in Design Wing for completion.
6. CNIC, Possession Letter and Allotment Letter.

7. No Demand Certificate (NDC).
8. Inspection Cards duly signed by BCD/Consultant of Client.
9. Front Façade of the Building with colors/materials duly signed by the Senior Architect of Bahria Town. (BCD will get it done with the help of Senior Architect).
10. Final NOC Fee as per size of the Plot.
11. Upon fulfillment of requirements, Chief Architect will issue Final NOC.  
Final NOC will entitle the Client to get the Electric Meters and Services from the Maintenance & Services Department.

**Note:** In case of floor wise completion certificate following is mandatory:

- Building exterior should be completed.
- Fire Fighting for whole plaza should be operational.

Provisional Completion per floor maybe allowed keeping in view following points:

- Building exterior should be completed.
- Fire Fighting for whole plaza should be operational.

**For Complaints in Design Wing Please Contact:**

**Mr. Ali Shan**

(Manager Design Wing)

Cell #

0312-5002899

Land Line #

051-5705860/111333888-102

Email #

A.shan@bahriatown.com.pk

BAHRIA TOWN

## 5.22 CONSULTANTS (GEO TECH., STRUCTURES & MEP)

(For Soil Testing, Structural Design, Vetting of Structural Design and MEP Design)

For Soil Testing/Structural Design/Vetting of Structural Drawings & MEP Client may choose one of the Consultant listed above. However complete responsibility of Soil Testing Structural & MEP Design will be of Client and his Consultant. Bahria Town (Pvt.) Ltd. will not take any responsibility.

### **A. GEO TECH CONSULTANTS.**

Sr. No	Firm Name & Address	Name	E-mail/ Cell No.	Remarks
1	<b>Geo Project Consultants</b> (PEC# Consult/932) Basement Floor, Zain Plaza, Near Moon CNG Opposite Gate No 2 of DHA –IIGT Road Islamabad	Engr. Ijaz Shahid	<a href="mailto:ejazaib@hotmail.com">ejazaib@hotmail.com</a> 0300-9757801 051-5813539	Geo Tech
2	<b>Geo Crust</b> (PEC # 62064) Flat # 04, Ist Floor, Plaza No 8 E-11/3, Islamabad	Engr. Mr. Naeem Uddin	<a href="mailto:geocrust.isb@gmail.com">geocrust.isb@gmail.com</a> 0332-2449877 051-2223718	Geo Tech
3	<b>BK Engineering Private LTD</b> (PEC # License # 14290) House No. 16, Street No. 16, B Orchard, DHA-1, Rawalpindi Office No. 8, Al-Kousar Plaza, G-10 Markaz, Islamabad Office; Global Books Kashif Plaza f-8 Markaz Islamabad.	Babar Khan	<a href="mailto:bk.group.pk@gmail.com">bk.group.pk@gmail.com</a> 0345-9623303 0333-4724366	Geo Tech
4	<b>Earnest Pakistan</b> (PEC # Consult/1616, CDA 220/599) Office # 5, 2 <sup>nd</sup> Floor Prism Arcade III, Hub Commercial NO. 139 to 142, Bahria Town Rawalpindi.	Engr. Tariq Mahmood	<a href="mailto:enr.tariq.ep@gmail.com">enr.tariq.ep@gmail.com</a> 0300-8541018	Geo Tech
5	<b>A.N Associates</b> Consulting Structural Engineers (PEC# Consult/998, CDA 523) 18/62, First Floor, Rafique Center, Adam Jee Road Sadar Rawalpindi	Engr. Karamat Ali Abdul Qadir	<a href="mailto:alikaramet1@gmail.com">alikaramet1@gmail.com</a> 051-5529849 0342-9315985 0300-8554680 0346-8525868	Geo Tech



**B. STRUCTURE & VETTING CONSULTANTS.**

Sr. No	Firm Name & Address	Name	E-mail/ Cell No.	Remarks
1	<b>Umair Majeed Consulting Engineer</b> <u>Office no. S -</u> <u>50,51,76,116,117,118,119</u> <u>Second floor City Center,</u> <u>Bank Road Saddar</u> <u>Rawalpindi</u>	Engr. M Umair Majeed	<a href="mailto:umairmce@yahoo.com">umairmce@yahoo.com</a> <a href="mailto:umairmce@gmail.com">umairmce@gmail.com</a>  0332-5056097	<u>Structure +</u> <u>Vetting</u>
2	<b>Paramount Consultants</b> <u>Lilly-1, River Hills, Mini</u> <u>Commercial, Phase-7,</u> <u>Bahria Town, Rawalpindi.</u>	Saad Haroon Sadiq	<a href="mailto:Paramount.constlt@gmail.com">Paramount.constlt@gmail.com</a>  0321-7899908 051-8480009	<u>Structure +</u> <u>Vetting</u>
3	<b>Earnest Pakistan</b> (PEC # Consult/1616, CDA 220/599) Office # 5, 2 <sup>nd</sup> Floor Prism Arcade III, Hub Commercial NO. 139 to 142, Bahria Town Rawalpindi.	Engr. Tariq Mahmood	<a href="mailto:enqr.tariq.ep@gmail.com">enqr.tariq.ep@gmail.com</a>  0300-8541018	Structural Design + Vetting
4	<b>Buildcon Consulting Engineers</b> <u>Office # 25, 3rd Floor,</u> <u>Gulberg Trade Center,</u> <u>Gulberg Greens, Islamabad.</u> <u>Office # 01, Plaza 26-A,</u> <u>Business Bay, Phase-7,</u> <u>Bahria Town.</u>	Muhammad Sohail	<a href="mailto:info@buildcon.com.pk">info@buildcon.com.pk</a>  0331-5588851	<u>Structure +</u> <u>Vetting</u>
5	<b>Sustainable Design Consultants</b> <u>Office# 4, First Floor, Block-</u> <u>25, PHA Flats, G-7/1,</u> <u>Islamabad.</u>	Engr. Mamoon Riaz	<a href="mailto:sdcenr@gmail.com">sdcenr@gmail.com</a> <a href="mailto:mamoon.riaz2021@gmail.com">mamoon.riaz2021@gmail.com</a>  051-2609542 0334-9248289 0315-4809929	<u>Structure +</u> <u>Vetting</u>
6	<b>ZAC Engineers</b> -2/3/4 Ground Floor, Anwar Plaza, Bolan Road, Soan Garden, Islamabad.	Dr. Zeeshan Alam	<a href="mailto:enrzeeshanalam@gmail.com">enrzeeshanalam@gmail.com</a>  0333-8555086	Structure + Vetting

7	<b>Design Inn</b> <u>Office no: 17-B, Main PWD road, Islamabad</u>	Hafiz Abdul Aleem	<a href="mailto:Hafizaleem786@yahoo.com">Hafizaleem786@yahoo.com</a> 0321-5562846	<u>Structure</u>
8	<b>Structural Systems</b> Apartment 1, first floor, plaza 16 Commercial Avenue Phase VII, Bahria Town, Rawalpindi	Abdul Rauf	<a href="mailto:arrauf77@gmail.com">arrauf77@gmail.com</a> 0321-8401973	Structure
9	<b>M/S Alpha Engineering Consultants</b> <u>Office#4, LG Prisim Arcade 3, Hub Commercial, Bahria Phase 8, Rawalpindi</u>	Muhammad Hammad Ahmed Younas Khan Atif Hussain	<a href="mailto:alphaenggconsultants@gmail.com">alphaenggconsultants@gmail.com</a> 051-2721895 0333-1948723 0334-5514737 0336-5449563	<u>Structure + Vetting</u>
10	<b>Faisal &amp; Fahad Associates</b> (PEC# Consult/1460) Architectural & Engineering Services Office No 301, Raja Safder Arcade Phase 7, Bahria Expressway Bahria Town Rawalpindi/ Islamabad	Engr. Faisal Naeem	<a href="mailto:faisalandfahad@gmail.com">faisalandfahad@gmail.com</a> 0334-5148610 0324-6236442 051-5400153	Structural Design + Vetting
11	<b>Engineering &amp; Design Consultants</b> (PEC # Consult /1312, CDA Str220/227) Office No 2, 1st Floor, Faizan Plaza 27- Mini Commercial, Phase 7 Bahria Town Islamabad	Engr. Mr. M. Imran Zafar Engr. Ghazi Arslan Ahmed Mr. Shafay Qadeer	<a href="mailto:edc1312@gmail.com">edc1312@gmail.com</a> 0300-5162284 0322-5118790 0315-9992877	Structural Design + Vetting
12	<b>A.N Associates</b> Consulting Structural Engineers (PEC# Consult/998, CDA 523) 18/62, First Floor, Rafique Center, Adam Jee Road Sadar Rawalpindi	Engr. Karamat Ali Abdul Qadir	<a href="mailto:alikaramet1@gmail.com">alikaramet1@gmail.com</a> 051-5529849 0342-9315985 0300-8554680 0346-8525868	Structural Design + Vetting

13	<b>M/s Emarat Design &amp; Engineering</b> FF, Niaz Arcade, 14-C, Abubakar Commercial, Abubakar Avenue, Bahria Town, Ph-VIII, Rawalpindi	Engr. Waqar Saleem	<a href="mailto:cewaqar@gmail.com">cewaqar@gmail.com</a>  <a href="tel:051-8744487">051-8744487</a> <a href="tel:0331-7204875">0331-7204875</a>	Structure + Vetting
14	<b>Bukhari Associates</b> (PEC # Consult/1288) Prism Arcade-3 Hub Commercial Phase VIII, Bahria Town, Rawalpindi. Lower ground Floor, Naveed Arcade, Main Blvd, River Garden Housing Society, Zone -V Islamabad.	Syed Iqbal Hussain Bukhari	<a href="mailto:bukhariassociates78@gmail.com">bukhariassociates78@gmail.com</a>  0300-6340094 0331-5023454 0305-8750108 0333- 6340094	Structure + Vetting
15	<b>Modern Consulting Engineers</b> (PEC Consult #1474), River Hills-2, Mini Ext. II, Phase-VII, Bahria Town Rawalpindi/Islamabad.	Engr. Amjad Hanif Engr. Bilal Ahmed	<a href="mailto:Amjadhanif23@gmail.com">Amjadhanif23@gmail.com</a>  0334-5495998 051-8899999 0303-6944340 0344-5385275	Structure + Vetting
16	<b>Abdul Naseem</b> Main Double Road 786, G- 13/4 Islamabad.	Design House	<a href="mailto:designhouse2003@gmail.com">designhouse2003@gmail.com</a> <a href="mailto:designhouse2003@yahoo.com">designhouse2003@yahoo.com</a>  0333-5259694	Structure +Vetting
17	<b>MI &amp; ASSOCIATES</b> <u>1- Bahria Office: office 1,</u> <u>Lower ground floor, Sanan</u> <u>Center, Adjacent to Bahria</u> <u>Head Office, Hub</u> <u>Commercial, phase 8,</u> <u>Bahria town Rawalpindi</u> <u>2- Zaraj Office: Office 2,</u> <u>Lower ground floor, Safa</u> <u>heights, sector B, Zaraj</u> <u>housing scheme Islamabad</u>	Muhammad Idrees Khalid Ans Nawaz Sami Ullah Khan	<a href="mailto:miassociatesbt@gmail.com">miassociatesbt@gmail.com</a>  0300-9850160 0305-5552436 0301-5975893 051-5427336	Structure + Vetting
18	<b>Dr. Qaisar Ali</b> <u>Office# G-11, block 11,</u> <u>Business Bay, Sector F, DHA</u> <u>-1, Islamabad</u>	Dr. Qaisar Ali Associates	<a href="mailto:Dqa.info@gmail.com">Dqa.info@gmail.com</a>  0301-8802893	Structure

19	<b>DESIGNMEN CONSULTING ENGINEER</b> <u>1<sup>st</sup> Floor 9-west Rizwan Plaza, Jinnah Avenue, Blue Area, Islamabad</u>		<a href="mailto:Designmenislamabad@gmail.com">Designmenislamabad@gmail.com</a>  051-2828577 0300-5589683	<u>Structure</u>
20	<b>RIKSONS</b> <u>Plaza# 137, Office no: 5, Attar Heights 1 Opp Bahria Head Office, Bahria Town phase 8, Rawalpindi</u>	Ikram ullah Khan Waseem Akhtar	<a href="mailto:info.riksons@gmail.com">info.riksons@gmail.com</a>  0312-5191649 0343-5063430	<u>Structure</u>
21	<b><u>CivTech Consultants (Pvt) Ltd</u></b> <u>Office Flat No 02, Second Floor, Torch Plaza, Civic Center, Phase IV, Bahria town</u>	Sheraz Bashir	<a href="mailto:civtechconsult@gmail.com">civtechconsult@gmail.com</a>  0300-8105957	<u>Structure + Vetting</u>

**Notes:**

5. For Soil Testing / Structural Designs / Vetting of Structural Drawings; Clients may choose one of the Consultant as listed.
6. For MEP Designs client may choose one of the consultants as listed; however, it is mandatory to get MEP drawings vetted from 'TI Design Consultant for Commercial only
7. Clients and their Consultants will be responsible for all Structural & MEP Services. Bahria Town (Pvt.) Ltd. will not be responsible.
8. Consultants to make sure for Compaction test & termite proofing.

BAHRIA TOWN

**C. MEP CONSULTANTS.**

Sr. No	Firm Name & Address	Name	E-mail/ Cell No.	Remarks
1	<b>TI Design &amp; Engineering Services</b> 1 <sup>st</sup> floor, plaza # 44 N, business bay, sector F, DHA, Phase 1, Islamabad	Raza Ali Bangash Tahir Yaseen	<a href="mailto:tahir@tides.pk">tahir@tides.pk</a> <a href="mailto:raza@tidespk.com">.com</a> <a href="mailto:raza@tidespk.com">raza@tidespk.com</a>  <a href="tel:0301-8567866">0301-8567866</a> <a href="tel:051-6125074">051-6125074</a> <a href="tel:0300-5522554">0300-5522554</a>	MEP Design + Vetting

**Notes:**

1. For Soil Testing / Structural Designs / Vetting of Structural Drawings; Clients may choose one of the Consultant as listed.
2. For MEP Designs client may choose one of the consultants as listed; however, it is mandatory to get MEP drawings vetted from 'TI Design Consultant for Commercial only
3. Clients and their Consultants will be responsible for all Structural & MEP Services. Bahria Town (Pvt.) Ltd. will not be responsible.
4. Consultants to make sure for Compaction test & termite proofing.

**D. Verification from Bahria Town's Maintenance Committee High Rise Building (load of 1-MW & above)****MEP Vetting Engineers List****North Wing**

Engr Azhar Mahmood	GM (Grid Station & Billing)	0334-5270693	Vetting
Engr Ahmed Kamal Shahid	GM Elect. Development	0322-8567783	Vetting
Saleem Zada	Manager Electrical		Vetting
Mazhar Inam Qureshi	SDO (P&I) Ph-IV Grid Station	051-5179716 051-5179717	Vetting

<b>South Wing</b>				
Engr Azhar Mahmood	GM (Grid Station & Billing)	0334-5270693		Vetting
Engr Ahmed Kamal Shahid	GM Elect. Development	0322-8567783		Vetting
Engr Ali Usman	Manager Electrical	0333-5122800		Vetting
Engr Ahmed Ihsan	SDO (P&I) Ph-IV Grid Station			Vetting
<b>Spring North / Safari Project</b>				
Engr Azhar Mahmood	GM (Grid Station & Billing)	0334-5270693		Vetting
Engr Ahmed Kamal Shahid	GM Elect. Development	0322-8567783		Vetting
Intikhab Ahmed	GM Elect. Development			Vetting
Engr Ahmed Ihsan	SDO (P&I) Ph-IV Grid Station			Vetting

BAHRIA TOWN

## 5.23 SITUATION 5: APPROVAL PROCESS AND FEES FOR HIGH RISE BUILDINGS (APARTMENTS AND COMMERCIALS)

Design Wing of Bahria Town does not offer Design Services for High-rise Buildings (Commercial or Apartments). Client will submit Designs as per Laid Procedure. Only Formal Approval for Execution will be issued.

### 5.23.1 STEP 1: SUBMISSION OF OWNERSHIP DOCUMENTS AND ARCHITECTURAL PLANS

Documents/Architectural Plans/Reports will be submitted as per following:

1. Owner's CNIC (Copy).
2. Allotment Letter (Copy).
3. Possession Letter (Copy) Not older than 1 Year.
4. NDC (No Demand Certificate) Copy for Phase 1 to 6 Plots Only.
5. Payment Receipt of Design Fee. (@ Rs 20 per Sft).  
CASH / PAY-ORDER & DEMAND DRAFT may be deposited in:  
**Bank:** UBL-Phase 8 Branch.  
**Account title:** Bahria Town (Pvt.) Ltd. Design Wing Commercial.  
**Account #:** 0109000279590262
6. Architectural Plans / Drawings (Hard & Soft Copy).
  - i. Plans, Elevations, Sections.
  - ii. 3D Views of Front, Rear and Sides Views (will also be approved by Chairman Bahria Town.)
7. Parking Layout Plan along with Parking Schedule.
8. Traffic Impact Assessment (TIA) and Environmental Impact Assessment (EIA) reports will be provided by Client.
9. NOC's from Civil Defense and Rescue 1122.

**Once the Design Wing Approves the Architectural Plans, following Documents will be submitted to get NOC for Execution.**

### 5.23.2 STEP 2: SUBMISSION OF SOIL REPORT, STRUCTURAL AND MEP DESIGNS

#### SOIL REPORT

Duly Prepared by a Registered / Reputable Geo Technical Firm. (2 Copies each) or from following Consultants.

- **Engr. Mr. Naeem Uddin**

Geo Crust (PEC # 62064)  
Flat # 04, 1st Floor, Plaza No 8  
E-11/3, Islamabad  
Cell # 0332-2449877  
Land Line # 051-2223718  
Email# [geocrust.isb@gmail.com](mailto:geocrust.isb@gmail.com)

- **Engr. Ejaz Shahid**

Geo Project Consultants (PEC# Consult/932)  
Basement Floor, Zain Plaza, Near Moon CNG  
Opposite Gate No 2 of DHA -II.  
GT Road Islamabad.

Cell #                   0300-9757801  
Land Line #           051-5813539  
Email#                 [ejazaib@hotmail.com](mailto:ejazaib@hotmail.com)

### **DETAIL STRUCTURE DESIGN/DOCUMENTS**

Detail structure design/documents along with calculation books, technical specification, mix design, and computer models (soft copy) duly prepared by PEC registered structural consultant. (Registration documents of the firm will also be submitted.) (2 copies).

### **Vetting Consultant for CDA controlled Areas**

#### **1. Mr. Najib Ahmed Shakir**

Design men Consulting Engineers (PEC Consult # 201) First Floor, 9-West, Rizwan Plaza,  
Blue Area, Jinnah Avenue, F-6, Islamabad.  
Cell No. 0300 5589683  
Land Line: 051 2828577, 2829002  
Email: [designmenislamabad@gmail.com](mailto:designmenislamabad@gmail.com)

#### **Contact Office in Bahria Town Islamabad**

Suite # 3 & 4, Second Floor, Faizan Plaza, Mini Commercial, Phase-7,  
Bahria Town, Rawalpindi/Islamabad.  
Cell NO: 0334 5495998 (Engr. Amjad Hanif)  
Email: [amjadhanif23@gmail.com](mailto:amjadhanif23@gmail.com)

### **Vetting Consultants for RDA Controlled Areas**

#### **1. Mr. Najib Ahmed Shakir**

Design men Consulting Engineers (PEC Consult # 201) First Floor, 9-West, Rizwan Plaza,  
Blue Area, Jinnah Avenue, F-6, Islamabad.  
Cell No. 0300 5589683  
Land Line: 051 2828577, 2829002  
Email: [designmenislamabad@gmail.com](mailto:designmenislamabad@gmail.com)

#### **Contact Office in Bahria Town Islamabad**

Suite # 3 & 4, Second Floor, Faizan Plaza, Mini Commercial, Phase-7,  
Bahria Town, Rawalpindi/Islamabad.  
Cell NO: 0334 5495998 (Engr. Amjad Hanif)  
Land Line: 051 5411196  
Email: [amjadhanif23@gmail.com](mailto:amjadhanif23@gmail.com)



**2. Engr. Imran Zafar**

Engineering & Design Consultants (PEC Consult #1312), Suite # 2 & 3, First Floor  
Faizan Plaza Mini Commercial Phase 7, Bahria town Islamabad

Cell No: 0300 5162284.

Land Line NO: 051 5172216

Email: [edc1312@gmail.com](mailto:edc1312@gmail.com)

**3. Engr. Amjad Hanif**

Modern Consulting Engineers (PEC Consult #1474),

Suite # 3 & 4, Second Floor Faizan Plaza Mini Commercial Phase 7, Bahria town  
Islamabad

Cell No: 0334 5495998, 03165747220

Land Line NO: 051 5172216

Email: [edc1312@gmail.com](mailto:edc1312@gmail.com)

**4. Engr. Faisal Naeem**

Faisal & Fahad Associates (PEC Consult #1460), Office # 301, Raja Safdar  
Arcade, Plaza # 25 Mini Commercial Ext. 1, Bahria Expressway, Bahria Town  
Phase 7, Rawalpindi

Cell No: 0334 5148610, 03246236442

Land Line NO: 051 5400153

**5. Engr. Karamat Ali**

AN Associates (PEC Consult #998),

Office # 3, Basement Hub Commercial, Plaza 139 Opposite Bahria Town Head  
Office, Bahria Town Phase 8 Rawalpindi

Cell No: 0300 8554680, 03015975893

Land Line NO: 051 5529849

Email: [alikaramat1@gmail.com](mailto:alikaramat1@gmail.com)

**DETAIL MEP DESIGN**

Water, Sewerage, Drainage, Gas, Electricity, Telephone, Cable, Fire Fighting, HVAC etc. Duly  
Prepared by PEC Registered Consultant Firm. (2 Copies), Hard and Soft or from following  
Consultant.

**Engr. MR. Raza Ali Bangash**

TI Design & Engineering

Services. (TIDES). (PEC #

Consult/2401).

1st Floor, Plaza # 44 N,

Business Bay Sector-F DHA-

Phase-1, Islamabad

Cell # 03005522554

Land Line # 051-6125074

Email # design@tidespk.com.

raza@tidespk.com

Any coordination required will be done by client himself, along with site inspection.

**UNDERTAKING/CERTIFICATE FROM CLIENT/CONSULTANT**

Undertaking/Certificate from Client/Consultant that the entire Responsibility of the Soil  
Report, Safety/Stability of the Structure / MEP will be of the Client/Soil, Structural & MEP  
Designers as per Annex "5-A".

**5.23.3 STEP 3: NOC FOR EXECUTION (CIVIL WORKS)**

1. Upon fulfillment of requirements, Chief Architect (Commercial) will issue formal NOC for Execution. Upon Violation, Chief Architect reserves the right to cancel the NOC.
2. Entire Responsibility of the Stability of the Structure/building will be of Client and his/her Consultants.
3. Entire responsibility of the MEP will be of Client and his/her Consultants.
4. Building Plan will also be submitted to Design Vetting Committee (DVC) of CDA for approval which will be managed by Client himself.

**5.23.4 STEP 4: FINAL NOC TO OCCUPY BUILDINGS**

Upon Completion of Buildings, Client will submit following documents in Building Control Department for processing of Final NOC:

1. Completion Certificate from Structural Design Consultant.
2. Completion Certificate from Fire Fighting and MEP Consultant.
3. Undertaking. Annex "5-B".
4. WIRE MFinal NOC Form (To be obtained from Building Control Department BCD).
5. Three NOC Forms (Electricity, Gas and Sewerage) (To be obtained from Building Control Department BCD).
6. CNIC, Possession Letter and Allotment Letter.
7. No Demand Certificate (NDC).
8. Inspection Cards duly signed by BCD/Consultant of Client.
9. Front Façade of the Building with Colours/Materials duly signed by the Senior Architect of Bahria Town. (BCD will get it done with the help of Senior Architect)
10. Final NOC Fee as per size of the Plot.
11. Upon fulfillment of requirements, Chief Architect will issue Final NOC.  
Final NOC will entitle the Client to get the Electric Meters and Services from the Maintenance & Services Department.
12. Installation of Security System and Surveillance System are mandatory for completion.  
Following are the details:

Installation of Security System(Sensor and Alarm) is mandatory  
For Completion  
**PANIC ALERT CONTROL SYSTEM**

Office: Bahria phase 1-6 Office: 203 Waqas Arcade Civic Center , bahria Town Phase 4 Near KFC Islamabad	Office: Bahira phase 7-8 HAK-2, Office: 101, Near Bahria Security Office Islamabad
For Contact - 0334-5917864-0307-8147615.	

**UNDERTAKING (On Rs. 100/- Stamp Paper)  
(Specimen)  
(Attested By Notary Public)**

I/We, \_\_\_\_\_ am/are owner/s of Reg. # \_\_\_\_\_, Plot # \_\_\_\_\_, Street # \_\_\_\_\_, Phase \_\_\_\_\_, Block/Sec \_\_\_\_\_, Bahria Town, Islamabad/Rawalpindi, do hereby undertake and solemnly affirm as under: -

1. That I/We have decided to start construction of building on the above-mentioned plot under my/our own Soil Investigation, Structure and MEP Design/Supervision. Bahria Town, Islamabad/Rawalpindi is only providing guide lines and assistance to follow the SOP's established for the convenience of members of Bahria Town, Islamabad/Rawalpindi.
2. It is further that I (the owner/builder/contractor of the building) am under obligation to follow the SOP's of Bahria Town during the construction of building. Administration of Bahria Town, Pvt. Ltd. Islamabad/Rawalpindi, including Building Control Department (BCD), shall not be held responsible for any structural fault due to use of poor/substandard building material and lack of supervision of work by me (the owner/builder/contractor of the under-construction building). Moreover, Bahria Town is indemnified of losses/damages incurred to me because of wrong soil investigation, Settlement of Building due to lack of desired compaction, ingress of rain water, leakage of internal services or faulty structural design.
3. I hereby undertake to get the building plan approved from concerned authority (RDA/CDA/Metropolitan Corporation) along with fee, prior to construction.
4. I hereby undertake to get completion NOC from concerned authority (RDA/CDA/Metropolitan Corporation) prior to applying completion certificate in Bahria town Pvt. Ltd.
5. That is case of loss of inspection card provided by the Building Control Department of Bahria Town, Pvt. Ltd. Rawalpindi/Islamabad to get Inspection of building at various stages (bye-laws only), I (the owner/builder/contractor) shall be solely responsible for any fault/damage incurred later on to the building. Final NOC will not be issued in absence of inspection card issued by the Building Control Department of Bahria Town, Islamabad/Rawalpindi.
6. That I/We further undertake that I will use the building materials as per specifications of drawing given to me for aforementioned building. In case of any incident/damage to structure of the building due to use of incorrect materials or wrong soil investigation, the management of Bahria Town Pvt. Ltd. shall not be responsible to pay any damages/claims to me.

7. I further undertake the responsibility that I will be solely responsible for any damage incurred to the adjacent building during the construction of my building and will be responsible to get the adjacent building repaired till the time its status is restored to its original shape. It is further assured that the structure of basement shall be completed as early as possible according to the precautionary measures issued by Design Wing, else I will be liable to pay 100% damages incurred to any structure of Bahria Town (Pvt) Ltd or any other person.
8. That the above statement is true to the best of my knowledge and there is no concealment of facts.
9. That I/We have given this undertaking with free will without any influence, coercion, pressure or binding. It is also undertaken that on the basis of above-mentioned points in the instant undertaking, the executants have no right to peruse/refer the same matter in any court of law under any pretext/excuse.
10. Bahria Town reserves the right to cancel the issued NOC or impose financial penalties on violations.

Executant\_\_\_\_\_

Name\_\_\_\_\_

CNIC\_\_\_\_\_

Witnesses:

1. \_\_\_\_\_ CNIC\_\_\_\_\_

2. \_\_\_\_\_ CNIC\_\_\_\_\_

BAHRIA TOWN

## Completion NOC'S

### COMMERCIAL

N.O.C Will be provided based on approval drawing sets and required Documents for complete building construction, as below:

#### Category 1

Complete building construction with all floors constructed including mummy.

#### Category 2

Partial building construction with any of the complete floors with mandatory complete elevations facing any road way and open park/green areas, etc.

#### Category 3

Building construction with full ground floor and in case of partial construction of first floor, it is mandatory to construct complete elevation spaces of first floor facing any road way and open park/green areas etc.

### TELCOMM/GAS SERVICES

These Services have been laid by concerned departments. For individual connections application forms are available with Bahria Services. Forms duly filled may be deposited with Bahria Services for speedy provision of connections. Further the residents are also advised that the Main Gas Pipe Line shall not be concealed in ground and in walls.

Gas cylinder use need to be as per specifications issued by OGRA.

For provision of telephone services, copper/fiber has been laid by respective services providers. Further commercial & residential subscribers are reduced to provide internalconduit wiring using 99.9% copper or drop fiber as the case may be and this conduit wiring should be terminated on left gate pillar at 1.5 feet from ground level.

BAHRIA TOWN

**UNDERTAKING (On Rs. 100/- Stamp Paper)**  
**(Specimen)**  
**(After Completion of Building)**  
**(Attested By Notary Public)**

I/We, \_\_\_\_\_ am/are owner/s of Reg. # \_\_\_\_\_, Plot # \_\_\_\_\_, Street # \_\_\_\_\_, Phase \_\_\_\_\_, Block/Sec \_\_\_\_\_, Bahria Town, Islamabad/Rawalpindi, do hereby undertake and solemnly affirm as under: -

1. That I/We have completed construction of building on the above mentioned plot under my/our own Soil Investigation, Structure and MEP Design/Supervision and Bahria Town, Islamabad/Rawalpindi only provided guide lines and assistance to follow the SOP's established for the convenience of members of Bahria Town, Islamabad/Rawalpindi.
2. It is further stated I am totally responsible for any structural fault due to poor/substandard building material and poor supervision of work, wrong soil investigation, Settlement of Building due to lack of desired compaction, ingress of rain water, and leakage of internal services or faulty structural design.
3. That I/we further undertake that Bahria Town shall not be responsible to pay any damages/claims due to any such incident.
4. That the above statement is true to the best of my knowledge and there is no concealment/misstatement of facts.
5. That I/we gave this undertaking with free will without undue influence, coercion, pressure and blackmailing. It is also undertake that on the basis of above mentioned points in the instant undertaking, the executants have no right to agitate the same matter in any court of law under any pretext/excuse.
6. I hereby undertake that any objection raised by RDA / CDA / Metropolitan Corporation/DC at any stage will be rectified / regularized by me.

Executant \_\_\_\_\_  
 Name \_\_\_\_\_  
 CNIC \_\_\_\_\_

Witnesses:

1. \_\_\_\_\_ CNIC \_\_\_\_\_  
 2. \_\_\_\_\_ CNIC \_\_\_\_\_

## 6 SCHOOL BUILDINGS

### 6.1 APPROVAL PROCESS

#### 6.1.1 STEP 1: APPROVAL OF ARCHITECTURAL PLANS

Following Documents will be submitted for the approval of Architectural Plans:

1. CNIC of the Owner.
2. Allotment Letter.
3. Possession Letter.
4. Approval Fee as per following:
  - i. Up to 10 Kanals Plot Rs 1,250,000/-
  - ii. Above 10 Kanals but less Than 20 Kanals Rs 1,875,000/-
  - iii. Above 20 Kanals Rs 2,500,000/-
  - iv. Cash / Pay-Order & Demand Draft may be deposited in

**Bank:** UBL-Phase 8 Branch.

**Account Title:** Bahria Town (Pvt.) Ltd. Design Wing Commercial.

**Account #:** 0109000279590262

5. Architectural Plans / Drawings (Hard & Soft Copy).
  - i. Plans, Elevations, Sections.
  - ii. 3D Views of Front, Rear and Sides Views (will also be approved by Chairman Bahria Town.)
  - iii. Parking Layout Plan along with Parking Schedule.
6. A Brief Design Report about the Project.
7. Traffic Impact Assessment (TIA) Report.
8. Undertaking as per specimen Annex "6-A"(To be submitted after the approval of Architectural Plans).

**Upon completion of above formalities, Design Wing will issue approval letter of Architectural Plans and then Client will submit Plans/Documents as per Step 2 to obtain NOC for execution.**

#### 6.1.2 STEP 2: SUBMISSION OF STRUCTURAL AND MEP DRAWINGS

Once the Design Wing approves the Architectural Plans, Client will submit following Plans / Documents.

1. Soil Report by a reputable Geo Technical Firm.
2. Structural Drawings duly signed/stamped, by a firm, registered with PEC as a Consulting Firm along with Structural Stability Certificate. (Hard and soft copy).
3. Vetted Structural Drawings duly signed/stamped by a Third Party along with Vetting Certificate. (Hard and soft copy).
4. Complete MEP drawings duly signed/ stamped by a Consulting Firm registered with PEC. (Hard and soft copy).

5. NOC from Civil Defense and Rescue 1122 will be provided by Client.
6. Undertaking as per Specimen Annexure "6-B"

### 6.1.3 STEP 3: NOC FOR EXECUTION

1. Upon fulfillment of formalities, NOC for the execution will be issued.
2. Entire Responsibility of the Stability of the Structure/ building will be of Client and his/her consultants.
3. Entire responsibility of the MEP will be of Client and his/her Consultants.
4. Building Plan will also be submitted to Design Vetting Committee (DVC) of CDA for approval which will be managed by Client himself.

### 6.1.4 STEP 4: FINAL NOC TO OCCUPY BUILDINGS

Upon Completion of Buildings, Client will submit following documents in Building Control Department for processing of Final NOC

1. Completion Certificate from Structural Design Consultant
2. Completion Certificate from Fire Fighting and MEP Consultant.
3. Undertaking. Annex "6-C".
4. Final NOC Form (To be obtained from Building Control Department BCD).
5. Three NOC Forms (Electricity, Gas and Sewerage) (To be obtained from Building Control Department BCD).
6. CNIC, Possession Letter and Allotment Letter.
7. No Demand Certificate (NDC).
8. Inspection Cards duly signed by Consultants of Client.
9. Front Façade of the Building with Colors / Materials duly signed by the Senior Architect of Bahria Town. (BCD will get it done with the help of Senior Architect)
10. Final NOC Fee as per size of the Plot.
11. Upon fulfillment of requirements, Chief Architect will issue Final NOC.

**Final NOC will entitle the Client to get the Electric Meters and Services from the Maintenance & Services Department.**

## 6.2 BUILDING BYE-LAWS FOR PUBLIC BUILDINGS (SCHOOLS)-RDA

Minimum Setbacks for School Buildings are given in table below:

Area of Plot	Building Line	Rear Space	Both Sides	Max FAR	Max Ground Coverage
Less than 1 Kanals	10	5	5	1:2	65%
Above 1 Kanals & less than 2 Kanals	20	10	10	1:2	60%
Above 2 Kanals	40	20	20	1:2	55%



**6.2.1 SETBACKS/FAR/GROUND COVERAGE (RDA)**

1. A separate Lane for Pick & Drop will be provided with in plot outside the boundary wall.
2. The Max. Height of the building measured from the crown of the road to the top of Parapet wall shall not exceed 55 ft. except chimney towers, lift heads and water towers.
3. Max No of Storeys allowed are 4.
4. A reasonable size multipurpose Playing field will be provided.
5. Parking requirements
  - i. 1 Car space for every 1000 Sqft. of Floor Area.
  - ii. 40% of Car Parking Space shall be reserved for Motor Cycles and Buses.

**6.2.2 REVISION OF BUILDING BYE-LAWS OF PLOTS FOR EDUCATION ZONE-II, IV & V(CDA)****6.2.2.1 BYE-LAWS FOR PLOT MEASURING UPTO 1.5 ACRES.**

Serial #	Description	Method
1	Maximum No. of storeys	Ground + 4
2	Maximum FAR	1:2.5
3	Maximum Ground	40%
4	Setbacks.	Front = 50 Feet Sides = 30 feet Rear = 40 feet
5	Basement	Within the plot area leaving 10' setback all around from the plot and will be meant for parking only.
6	Parking	01 Car Space for every 500 sft of Floor Area

**6.2.2.2 BYE-LAWS FOR PLOTS OF SIZE MORE THAN 1.5 ACRES**

<b>Serial #</b>	<b>Description</b>	<b>Method</b>
1.	Maximum No. of storeys	Ground + 7
2.	Maximum FAR	1:2.5
3.	Maximum Ground coverage	30%
4.	Setbacks.	Front = 50 feet Sides = 30 feet Rear = 40 feet
5.	Basement	Within the plot area leaving 10' setback all around from the plot and will be meant for parking only.

BAHRIA TOWN

**UNDERTAKING (Rs 100 Stamp Paper)**

I, \_\_\_\_\_ S/O \_\_\_\_\_ bearing CNIC No. \_\_\_\_\_ Director Administration & Projects of \_\_\_\_\_ Schools Private Limited Head Office No. \_\_\_\_\_, Street \_\_\_\_\_, Sector \_\_\_\_\_, Pakistan do hereby solemnly affirm and declare that I am deponent of this affidavit, hence fully conversant with the facts of the matter: -

1. No Changes/Alterations will be made in Approved Drawings of \_\_\_\_\_ Schools Building, Plot No. \_\_\_\_\_ Sector \_\_\_\_\_, Phase VIII, Bahria Town Rawalpindi.
2. Exterior Finishes of \_\_\_\_\_ Schools Building will be started after approval of Design Wing of Bahria Town Rawalpindi.
3. \_\_\_\_\_ School will depute a permanent Architect for supervision on site.
4. As Design Architect is responsible for working design so in case of any discrepancy will be rectified by him/her after intimating to design Wing of Bahria Town Rawalpindi.
5. Safety/Stability of the Structure will be wholly responsibility of the Structural Consultant. However, \_\_\_\_\_ School will submit the Structural Design along with Vetted Structural Drawings to Design Wing of Bahria Town Rawalpindi for record.
6. \_\_\_\_\_ School will depute a permanent Structural Engineer on Site \_\_\_\_\_ School Building till the completion of the building.
7. \_\_\_\_\_ School will start construction activity on site i.e. \_\_\_\_\_ School Building. Construction will be started after NOC for execution is issued.
8. \_\_\_\_\_ School Consultant will monitor/record construction stages and same will be submitted regularly in building Control Department of Bahria Town.
9. The Overall Responsibility of the Architecture / Structural/M.E. P will be of \_\_\_\_\_ School.
10. \_\_\_\_\_ School will follow Bye-laws/SOP's of Bahria Town in true letter and spirit and hereby agrees not to violate SOP's of Bahria Town.
11. Bahria Town reserves the right to cancel the issued NOC or impose financial penalties on violations.

Executant \_\_\_\_\_

Name \_\_\_\_\_

CNIC \_\_\_\_\_

Witnesses:

1. \_\_\_\_\_ CNIC: \_\_\_\_\_

2. \_\_\_\_\_ CNIC: \_\_\_\_\_

**UNDERTAKING (On Rs. 100/- Stamp Paper)  
(Specimen)  
(Attested by Notary Public)**

I/We, \_\_\_\_\_ am/are owner/s of Reg. # \_\_\_\_\_, Plot # \_\_\_\_\_, Street # \_\_\_\_\_, Phase \_\_\_\_\_, Block/Sec \_\_\_\_\_, Bahria Town, Islamabad/Rawalpindi, do hereby undertake and solemnly affirm as under: -

1. That I/We have decided to start construction of building on the above-mentioned plot under my / our own Soil Investigation, Structure, MEP Design & Supervision, Bahria Town Islamabad / Rawalpindi is only providing guide lines and assistance to follow the SOPs established for the convenience of members of Bahria Town, Islamabad / Rawalpindi.
2. It is further that the owner / contractor of the building is under obligation to follow the SOP'S of Bahria Town during the construction of building and administration of Bahria Town, including Building Pvt. Ltd. Islamabad / Rawalpindi shall not be held responsible for any structural fault due to poor / substandard building material and poor supervision of work by the owner/contractor of the building under construction, wrong soil investigation, Settlement of Building due to lack of desired compaction, entrance of rain water , leakage of internal/external services or faulty structural design.
3. I will submit and got approved building Plans from RDA/CDA/TMA at my own responsibility.
4. That is in case of misplacement of inspection card provided by the Design Wing of Bahria Town, Pvt. Ltd. Rawalpindi / Islamabad to get Inspection of building at various stages (bye-laws only), the owner / contractor shall be solely responsible for any fault / damage incurred later on to the building. Final NOC will not be issued in absence of inspection card provided by the Building Control Department of Bahria Town, Islamabad / Rawalpindi.
5. That I / we further undertake that I will always use the building materials as per specifications. In case of any incident/damage to structure of the building due to use of incorrect materials, the Management of Bahria Town Pvt. Ltd. Shall not be responsible to pay any damages/claims due to any such incident.
6. That the owner of the building under construction further undertakes that the owner shall be solely responsible for any damage incurred to the adjacent building during the construction of the building. It is further assured that the structure of basement shall be completed as early as possible according to the precautionary measures issued by Design Wing.
7. That the above statement is true to the best of my knowledge and there is no concealment/misstatement of facts.

8. That I/we gave this undertaking with free will without undue influence, coercion, pressure and blackmailing. It is also undertaken that on the basis of above-mentioned points in the instant undertaking, the executants have no right to agitate the same matter in any court of law under any pretext/excuse.

Executant\_\_\_\_\_

Name\_\_\_\_\_

CNIC\_\_\_\_\_

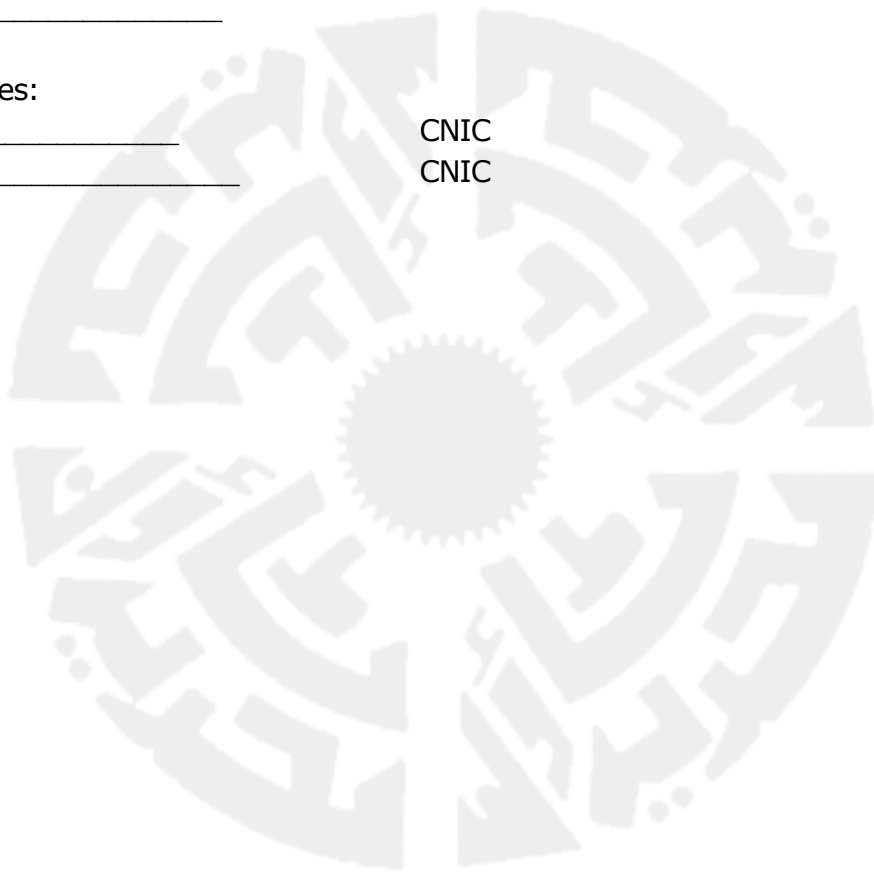
Witnesses:

1. \_\_\_\_\_

CNIC

2. \_\_\_\_\_

CNIC



BAHRIA TOWN

## 7 HOSPITAL BUILDINGS

### 7.1 APPROVAL PROCESS

#### 7.1.1 STEP 1: APPROVAL OF ARCHITECTURAL PLANS:

Following Documents will be submitted for the approval of Architectural Plans:

1. CNIC of the Owner
2. Allotment Letter
3. Possession Letter
4. Approval Fee as per following
  - i. Up to 10 Kanals Plot Rs1000000/-
  - ii. Above 10 Kanals but less than 20 kanals Rs 1500000/-
  - iii. Above 20 Kanals Rs 2000000/-
  - iv. **CASH / PAY-ORDER & DEMAND DRAFT** may be deposited in  
**Bank:** UBL-Phase 8 Branch  
**Account Title:** Bahria Town (Pvt.) Ltd. Design Wing Commercial.  
**Account #:** 0109000279590262
5. Architectural Plans / Drawings (3 Copies: Hard & Soft Copy)
  - i. Plans, Elevations, Sections @ Scale 1" = 8' / 1" = 16'
  - ii. 3D Views of Front, Rear and Sides Views (will also be approved by Chairman Bahria Town.)
  - iii. Parking Layout Plan along with Parking Schedule.
6. A Brief Design Report about the Project.
7. Traffic Impact Assessment (**TIA**) Report.
8. Undertaking as per specimen "Annex 7-A" (To be submitted after the approval of Architectural Plans).

**Upon completion of above formalities, Design Wing will issue approval letter of Architectural Plans and then Client will submit Plans/Documents as per Step 2 to obtain NOC for execution.**

#### 7.1.2 STEP 2: SUBMISSION OF STRUCTURAL AND MEP DRAWINGS:

Once the Design Wing approves the Architectural Plans, Client will submit following Plans / Documents:

1. Soil Report by a reputable Geo Technical Firm.
2. Structural Drawings duly signed / stamped, by a firm, registered with PEC as a Consulting Firm along with Structural Stability Certificate. (Hard and soft copy)
3. Vetted Structural Drawings duly signed / stamped by a Third Party along with Vetting Certificate. (Hard and soft copy)
4. Complete MEP drawings duly signed / stamped by a Consulting Firm registered with PEC. (Hard and soft copy)
5. NOC from Civil Defense and Rescue 1122 will be provided by Client.
6. Undertaking as per Specimen "Annex 7-B"

**7.1.3 STEP 3: NOC FOR EXECUTION:**

1. Upon fulfillment of formalities, NOC for the execution will be issued.
2. Entire Responsibility of the Stability of the Structure/ building will be of Client and his/her consultants.
3. Entire responsibility of the MEP will be of Client and his/her consultants.
4. Building Plan will also be submitted to Design Vetting Committee (DVC) of CDA for approval which will be managed by Client himself.

**7.1.4 STEP 4: FINAL NOC TO OCCUPY BUILDINGS:**

Upon Completion of Buildings, Client will submit following documents in Building Control Department for processing of Final NOC

1. Completion Certificate from Structural Design Consultant
2. Completion Certificate from Fire Fighting and MEP Consultant.
3. Undertaking. "Annex 7-C".
4. Final NOC Form (To be obtained from Building Control Department BCD).
5. Three NOC Forms (Electricity, Gas and Sewerage) (To be obtained from Building Control Department BCD).
6. CNIC, Possession Letter and Allotment Letter.
7. No Demand Certificate (NDC).
8. Inspection Cards duly signed by Consultants of Client.
9. Front Façade of the Building with Colors / Materials duly signed by the Senior Architect of Bahria Town. (BCD will get it done with the help of Senior Architect)
10. Final NOC Fee as per size of the Plot.
11. Upon fulfillment of requirements, Chief Architect will issue Final NOC.

**Final NOC will entitle the Client to get the Electric Meters and Services from the Maintenance & Services Department.**

**7.2 BUILDING BYE-LAWS FOR CONSTRUCTION OF HOSPITALS (RDA)****7.2.1 SET BACKS/ F.A.R. /GROUND COVERAGE:**

Minimum Setbacks are given below in table:

Area of Plot	Building Line	Rear Space	Both Sides	Max FAR	Max Ground Coverage
Less than 10 Kanals	20	10	10	1:3	65%
Above 10 Kanals & less than 20 Kanals	30	20	20	1:3	60%
Above 20 Kanals	40	30	30	1:3	55%

1. Basement will be meant for parking only.
2. The Max. Height of the building measured from the crown of the road to the top of Parapet wall shall not exceed 70 ft. except chimney towers, lift heads and water towers.

3. Max No of Storeys allowed are 4.
4. 1 car space for every 500 S.ft. of floor area will be provided.
5. A waste treatment plant for the hospital waste shall be made within hospital premises.

### 7.3 BUILDING BYE-LAWS FOR CONSTRUCTION OF HOSPITALS (CDA)

Hospital buildings shall be allowed on plots allotted for the purpose in various designated areas of the Federal Capital Territory. The maximum permissible FAR, maximum height, maximum number of storey's, minimum or maximum number of in patient-beds and type of development shall be in accordance with the layout plan and terms and conditions of allotment. Unless otherwise specified in the allotment letter, following minimum standards shall be followed:

- Ground Coverage = 70%
- FAR = 1:5
- Setbacks: According to size of plots

#### 7.3.1 Basements:

(a) Basements under the plot area shall be allowed without counting its area into FAR, provided that, its use is restricted to provision of mechanical plant room, kitchen (with mechanical disposal system), storage and car parking. In case of any permissible commercial or public use in the basement, the area put under such use shall be counted into FAR.

(b) No services other than a kitchen (With mechanical disposal system) shall be allowed in the basements.

(c) In case of basement becomes exposed from rear or sides due to ground conditions, opening of such basement from exposed side for normal use may be allowed by the Authority in the manner.

#### 7.3.2 Car Parking:

Minimum one car parking space/500 sft calculated on the basis of 250 sft/car (including circulation space) shall be provided within the plot).

#### 7.3.3 Fence / compound Wall:

No solid compound wall shall be permitted. Only a see-through fence would be allowed to define the property lines.

#### 7.3.4 WHO Standards:

Minimum standards laid down by the World Health Organization (WHO) pertaining to general requirements of hospital planning, including the minimum space standards for various facilities in a particular type of hospital shall be strictly met with.

#### 7.3.5 Disposal of Garbage and solid Waste:

It shall be mandatory to make necessary arrangements for collection and disposal of solid waste after its proper treatment as prescribed by the Pakistan Environmental Protection Act 1997.



## 8 STRUCTURAL DESIGN REQUIREMENTS

### 8.1 MULTI-STOREY BUILDINGS

#### 8.1.1 EARTHQUAKE RESISTANT DESIGN

1. The structural design of the buildings and its individual elements shall conform to the requirements of the National Building Code of Pakistan/ACI Code/ Uniform Building Code.
2. The Seismic Zone factor for buildings shall be based on the latest Seismic Zone Map of Pakistan.

#### 8.1.2 STRUCTURAL/ENGINEERING DESIGN

1. Basic loads to be considered in Design: Following loads shall generally be taken into account, as a minimum:
  - i. Dead loads.
  - ii. Live loads.
  - iii. Earth pressure (For retaining walls).
  - iv. Pressure of water and other liquids, if any.
  - v. Winds loads, where they govern the design.
  - vi. Seismic loads.
  - vii. Temperature loads (For longitudinal buildings), etc.
2. Additional loads to be included in special cases: following loads shall additionally be taken into account, where there is reasonable probability of their occurrence or in cases where the applicable codes require that they also be considered:
  - i. Explosion (use the specific risk specified).
  - ii. Impact (use the specific risk specified).
  - iii. Removal of support (use the specific facts of the case and only when undertaking modification of an existing building).
  - iv. Load combinations for the service and ultimate load condition shall be considered in accordance with ACI code.

#### 8.1.3 CODES AND STANDARDS

<b>BCP-SP-2007</b>	Building Code of Pakistan (Seismic provisions 2007).
<b>ACI 318-2008</b>	Building Code Requirements for Reinforced Concrete, American Concrete Institute.
<b>ASCE 7-05</b>	Minimum design loads for buildings and other structures.
<b>ACI 301-1995</b>	Specifications for Structural Concrete, American Concrete Institute.
<b>ASTM A 615</b>	Specifications for deformed steel bars for Reinforced Concrete.
<b>ASTM C 150</b>	Specifications for Portland Cement.
<b>ASTM C 33</b>	Specifications for Concrete Aggregates.
<b>IBC 2006</b>	International building code.
<b>UBC 1997</b>	Uniform Building Code of USA.
<b>AISC</b>	American Institute of Steel Construction.
<b>AISI</b>	American Iron and Steel Institute.

The Geotechnical Investigations shall be done in the light of the specific details of the building, the order of loads and special requirements, if any. The space and quantum of testing shall be consistent with the applicable parameters of the project.

#### 8.1.4 UNIT WEIGHT OF STRUCTURAL MATERIALS

The following unit weights of structural materials shall be used:

Reinforcing bars:	490 lbs/cu.ft (77.0 kN/cu.m)
Reinforced Concrete:	150 lbs/cu.ft(23.6 kN/cu.m)
Lean Concrete:	145 lbs/cu.ft(22.6 kN/cu.m)
Mortar:	145 lbs/cu.ft(22.6 kN/cu.m)
Compacted earth:	120 lbs/cu.ft (18.8 kN/cu.m)

#### 8.1.5 DESIGN STRENGTH OF MATERIALS

Following strength factors shall be used in design calculations:

##### 1. REINFORCED CONCRETE

Minimum compressive cylinder strength at 28 days equal to 3000 psi (280 kg/sq.cm) shall be considered for slabs, beams and columns.

##### 2. PLAIN CONCRETE

Minimum compressive cylinder strength at 28 days equal to 2500 psi (176 kg/sq.cm) shall be considered for Lean, blinding and filled concrete.

##### 3. REINFORCING STEEL

All reinforcing steel to be used in reinforced concrete works shall conform to ASTM A 615/ A-706Grade 60 with minimum yield strength of 60,000 psi.

#### 8.1.6 STRUCTURAL DRAWINGS

1. Structural drawings shall show the information and level of detail customarily required to be carried out by design drawings.
2. Drafting shall follow the generally accepted conventions and practices.
3. No revision shall be made without mutual concerned Structure Engineer & Architect.
4. All drawings shall be numbered and revision numbers with dates shall be clearly marked.
5. The structural drawings/documents shall also show the following information:
  - i. Specific values of the various geotechnical parameters adopted.
  - ii. Specific values of the various parameters adopted for computation of the earthquake loads and the code of practice followed.
  - iii. Specific values of the various parameters adopted for computation of the wind loads and the code of practice followed.
  - iv. Live loads adopted for each floor.
  - v. Uniformly distributed and other dead loads adopted for each floor.
  - vi. A description of partitions at each floor and the loading adopted to account for them.
6. Structural drawings shall bear the seal and signature of the consulting engineers.
7. Tests for construction materials:
  - i. Bahria Town may require the testing of any construction materials to determine if materials are of quality specified.
  - ii. Tests of materials shall be carried out by an approved agency at the cost of the

builder. Such test shall be made in accordance with the prevailing standards.

- iii. A complete record of tests of materials and their results shall be available for inspection during progress of work.

## 8.2 HOUSES (COMPOSITE STRUCTURE)

This section deals with normal double storey houses in Bahria Town. In special cases where additional floor is available, same structural design principles shall apply as framed in above section (Multi-Storey Buildings).

### 8.2.1 MATERIAL

- Bricks:** They shall be of standard shape, burnt red, hand formed or machine made and shall have minimum crushing strength of 1500 psi and absorption up to 20%.
- Mortar:** Cement-sand mixes of **1:3** shall be adopted for 4.5" thick wall and cement sand mortar **1:4** for 9" thick wall.
- Plaster:** All plastering work will be in cement sand mortar (1:4) on inner and inter walls and ceiling will be in cement sand mortar (1:3).
- Concrete:** The concrete used in various seismic bands shall have minimum compressive cylinder strength of 3000 psi at 28 days.
- Reinforcing Steel:** The reinforcing steel shall have minimum yield strength of 60,000 psi.
- Hollow Block:** Hollow block masonry is totally prohibited, only allowed in frame structure design.

### 8.2.2 FOUNDATION

Due to cut and fill areas R.C.C. strips foundation minimum 9" thick should be provided under walls, Type of footings may be any of the following depending on soil investigation report.

- i. Strip footing. (It is recommended to place footing beam beneath all load bearing walls)
- ii. Raft footing.
- iii. Pile footing (Thickness of pile cap should be minimum 15 inches).

### 8.2.3 HORIZONTAL REINFORCEMENT IN WALLS

The most important horizontal reinforcement is by means of reinforcement concrete bands provided continuously through load-bearing longitudinal and transverse walls at plinth, lintel according to the requirement stated below:

1. **Plinth band:** It shall be provided at plinth level in all interior and exterior walls. (Not less than 9" depth).
2. **Lintel band:** A lintel band (not less than 9" depth) shall be incorporated above all openings and shall be continuous in all interior and exterior walls. The reinforcement and band depth over the opening shall be provided in addition to that of any other requirement. The lintel of all the doors and windows shall be at the same level to facilitate placing of this band all around and inside the building without any discontinuity at Ground Floor and First floor.

### **8.2.4 VERTICAL REINFORCEMENT**

R.C.C. column (not less than 9" x 9") shall be provided at the critical section (i.e. corner of walls, junctions of walls) right from the foundation concrete to top slab with minimum reinforcement/requirement and shall fulfill the seismic requirements. The concrete mix shall be kept to 1:2:4 by volume or by weight and shall have strength of 3000 psi minimum.

## **8.3 SITES**

### **8.3.1 BUILDING SITES**

No building shall be erected upon a site reclaimed with town sweeping or other refuse, until the whole ground surface or site of such building has been rendered innocuous and has covered with a layer of clean earth, sand, hard core, clinker or ash rammed solid at least 12 inches (0.3 m) thick.

### **8.3.2 BOUNDARY WALL**

Boundary walls abutting the public streets, footways, or places which the public are allowed to use shall not have fencing consisting of barbed wire or any material likely to cause injury to persons or animals.

## **8.4 FOUNDATIONS**

### **8.4.1 GEO-TECHNICAL INVESTIGATION**

Before structural designs of buildings soil investigation with minimum two bore holes with depths depending on the height of the buildings will be carried out. However, at times the builder may be asked to carry out tests in order to prove the nature of the soil, wherever considered necessary by the Bahria Town.

### **8.4.2 FOUNDATIONS NEAR DRAIN**

Where a building is to be constructed near a drain or an excavation at a distance less than the depth of the said drain or excavation, the builder will make sure that the foundation of the building is safe.

### **8.4.3 STRUCTURAL CALCULATIONS**

The designer shall submit structural calculations and a certificate from Structural Engineer to verify the structural stability of foundations and super structure, if required by Bahria Town.

### **8.4.4 DAMP PROOF COURSE**

1. Proper damp proofing shall be provided for walls and floors according to the standard specifications in Uniform Building Code 1997 or International Building Code, 2006 of USA & N.R.M. 1986.
2. Area where the floor or the wall of the building is prone to seepage, in the opinion of the Bahria Town, that portion of the building below ground level shall be suitably waterproofed. Moreover, water stopper shall be provided at every construction joint in RCC basement wall and underground water tanks.

**8.4.5 BASEMENT**

For the construction of basement beyond 12 ft. (3.66m) depth from road level, R.C.C. piling along all four sides of the plot at the property line is mandatory. The design of R.C.C. piling will be based on the soil investigation report and the design shall be submitted along with the building plans.

**8.5 STAIR CASES AND LIFTS****8.5.1 STAIR CASES SPECIFICATIONS**

1. All buildings other than apartment buildings up to three storey shall have stair-cases having a minimum clear width of 3'-6" (1.07m) and 4 ft. (1.22 m) where they exceed three storeys.
2. In apartment buildings stair-cases shall have the following minimum width:
  - i. Up to 5 Storeys, 4 ft. (1.22 m) clear.
  - ii. Above 5 Storeys, 4 ft - 6 inches (1.37 m) clear.
3. The riser of the stair-cases step shall not be more than 7 inches (0.19 m) and the tread not less than 10 inches (0.25 m).
4. There shall not be more than 15 rises between each landing. A landing shall not be less than 3'-6" (1.07 m) in depth except in case of service stair-case where the number of risers may be increased depending upon the situation and design.
5. Winders may only be permitted in residential buildings other than Apartment buildings.
6. All stair-cases in apartment buildings shall be of reinforced cement concrete or other any non-inflammable material.

**8.5.2 LIFTS**

1. Lifts shall be provided in the buildings where the climb is more than 4 storeys.
2. Lifts shall conform to the international standards with respect to all safety devices and specifications.
3. Number of lifts should be provided keeping in view the size, building height and use of the buildings in conformity with standards of Uniform Building Code, 1997 or International Building Code, 2006 of USA & N.R.M. 1986.

**8.6 DESIGN REQUIREMENTS FOR BTS/TOWERS/ANTENNAS**

1. Mobile companies will design towers keeping in view the following aspects:
  - i. Using towers which occupy less space.
  - ii. Using eye suiting colors on the towers.
  - iii. Utilization of high-rise building/water tanks, wherever possible.
  - iv. Usage of maximum monopoles wall mounts/masts in cities.
  - v. Indoor solutions in big cities must be encouraged.
  - vi. Mobile companies will try to share the towers wherever possible, keeping in view all the technical aspects.
  - vii. Requirements of ANSI / TIA / EIA 222-G must be considered.
2. Mandatory spaces of plots shall not be violated whenever towers are installed.
3. Following designs/documents must be submitted by the companies interested to erect BTS, Towers in Bahria Town.

- i. Coordinates of site along with site plan duly approved by planning wing of Bahria Town.
- ii. Structural Design of Towers / foundation duly prepared by PEC registered consultant and structure stability certificate (Signed/Stamped) along with PEC registration certificate.
- iii. Vetted structural design of Tower / foundation by PEC registered consultant and vetting certificate (Signed/Stamped) along with PEC registration certificate.
- iv. Certificate from cellular company and PTA that antennas are not harmful to the environment. (original)
- v. Undertaking by the management of cellular company that in case of any mishap/accident, the cellular company will be entirely responsible for any damage to the property/life.

## 8.7 CONSULTING ENGINEERS REQUIREMENTS

Structural designs and drawings shall be prepared by P.E.C. Licensed Consulting Engineer (for civil works). If Licensed Consulting Engineer stamps drawing, prepared by another Engineer, he shall be permanently banned by Bahria Town for practice. He shall design, stamp and sign himself, without this N.O.C shall not be issued. Bahria Town Design Wing can demand detail design calculation for Residential Structures; however, it is mandatory for Commercial/Apartments/Public buildings. Approved vetting engineers can stamp drawings after verification of detailed calculations and drawings.

1. Approved drawings shall be available at the site during construction.
2. All stages shall be checked and signed by Site Inspectors continuously. In case of any discontinuity of checking, construction may be stopped.

## 9 PARKING REQUIREMENTS

### 9.1 GENERAL

The requirements of parking space shall not be applicable in such commercial areas including District and Divisional Centers and Neighborhood Commercial Areas in the Approved Schemes where provisions for parking space have been made by the DC/MC.

### 9.2 PARKING SPACE STANDARDS

#### 9.2.1 APARTMENT BUILDINGS

The following minimum parking space provisions shall be made:

One car space for every 1,000 Sft. (92.90 sq m) of covered area subject to a minimum of one car space for every housing unit.

**NOTE:** In an apartment building, if any portion is intended to be used for a purpose other than residential, the parking standards prescribed hereunder shall apply in accordance with the nature of intended use.

**9.2.2 OFFICES, COMMERCIAL INCLUDING LARGE STORES & RETAIL SHOPS, HOSPITALS & EXHIBITION HALLS**

One car space for every 500 Sft. (46.47sq m) of floor area.

**9.2.3 HOTELS**

1. One car space for every 6 rooms, provided that in case of family suites, each room will be counted separately as one room for calculation of parking spaces.
2. One car space for every 700 Sft. (46.47 sq m) of shopping area.
3. One car space for every 1,000 Sft. (92.95 sq m) of office area.
4. One car space for every 500 Sft. (46.47 sq m) of restaurant, café and banquet hall.

**9.2.4 RESTAURANTS, CLUBS& CAFES**

One car space for every 500 Sft. (46.47 sq m) of floor area.

**9.2.5 HOSPITALS**

One car space for every 500 Sft. (46.47 sq m) of floor area.

**9.2.6 MARRIAGE HALLS, BANQUET HALLS & COMMUNITY CENTERS**

One car space every 500 Sft. (46.47 sq m) of floor area.

**9.2.7 CINEMA, THEATRES & CONCERT HALL**

One car space every 250 Sft. (23.23 sq m) of floor area.

**9.2.8 POST OFFICES & POLICE STATIONS**

One car space for every 2,000 Sft. (185.90 sq m) of floor area.

**9.2.9 SCHOOLS, COLLEGES AND EDUCATIONAL INSTITUTIONS**

1. One car space for every 500 Sft. (46.47 sq m) of floor area.
2. 40% of car parking space shall be reserved for motor cycles and buses.

**9.2.10 MOTOR CYCLES**

16% of the total car parking area shall be reserved for motor cycle.

**9.3 PARKING SPACES SPECIFICATIONS****9.3.1 CALCULATING THE PARKING REQUIREMENTS**

1. For the purpose of calculating parking requirements, the gross floor area will not include the area of mechanical plant rooms, air conditioning plants, electric substation, space provided for prayer, ducts, service shafts, public toilets for common use, lifts, escalators, stairs, covered parking and circulation of vehicles.
2. If corridors and arcades provided are more than 10 ft. in width then additional area under corridors and arcades shall be excluded for calculating the car parking requirements.
3. In case of additions/alterations additional parking shall have to be provided for the additional floor area according to the standards given in these Regulations.

**9.3.2 FLOOR HEIGHT**

Minimum height of parking floors shall not be less than 8 ft. (2.44m).

**9.3.3 PARKING GEOMETRY**

Configuration of parking spaces and drive way etc. shall conform to the following Minimum standards:

Components	Motor Car	Motor Cycle
Stall width	8ft. (2.44m)	2'-6"(0.76m)
Stall length	16ft. (4.88m)	6ft.(1.83m)
Turning radius (measured from middle of two way ramp or outer curve of one way ramp) Lot turning radius	20ft. (6.1m) 17.5ft. (5.33m)	6ft. (1.83m)
Approach ramp width/driving lane		
• One way	10ft. (3.05m)	3ft. (0.91m)
• Two way	18ft. (5.49m)	6ft. (1.83m)
Width of approach ramp would increase at the turns allowing for turning radius of 20ft.		
Gradient of Ramp	1:10	1:10
The ramp slopes may be increased to maximum 1:5 provided that for slopes over 1:10, a transition at least 8ft. (2.44m) long is provided at each end of the ramp at one half the gradient of the ramp itself as shown in figures-9.1 & 9.2.		
Aisle width (minimum)		
• One way		
- 90 degree stall	20ft. (6.09m)	6ft. (1.83m)
- Less than 90 degree stall	18ft. (5.48m)	6ft. (1.83m)
• Two way		
- 90 degree stall	24ft (7.31m)	6ft
-30 degree stall	18ft (5.48m)	--
-45 degree stall	18ft (5.48m)	--
-60 degree stall	21ft (6.40m)	--

**9.3.4 VENTILATION & FIRE PROTECTION IN PARKING AREA**

Adequate means of ventilation, fire protection and emergency exits shall be provided in the parking areas.

**9.3.5 LIGHTING ARRANGEMENT**

All parking areas must be properly light for clear visibility and safety.

**9.3.6 BASEMENT, RAMP, PARKING**

1. The lower ground floor/basement if used for car parking purposes can be constructed after leaving 4ft. (1.22 m) space all around within the plot. This would apply in the case where only one basement is provided with a maximum excavation of 12 ft. (3.66 m).
2. Ramp may be provided in the mandatory open spaces in the basements subject to the condition that it shall not obstruct these spaces on ground level.
3. For the construction of basement beyond 12 ft. (3.66 m) depth from road level, the entire plot area can be covered subject to the provision of R.C.C. piling along all four sides of the plot.



4. No ramp is allowed inside and rear spaces at ground level if these spaces are not abutting a road.
5. However, the level of the ceiling of the basement in the mandatory open spaces is required to be provided under these SOP's and shall not exceed 6 inches above the crown of the road.
6. The lower ground floor/basement if used for purposes other than car parking shall be constructed after leaving all the mandatory open spaces as required under these bye laws.
7. No Ramp shall start within 10ft. clear space from the plot line for entry and exit purposes. Such ramp should have a maximum slope of 1:5, with transition slopes minimum 8ft. long and maximum 1:10 gradient at both ends. (See fig. 9.1)
8. Where entry/exit to the basement is from the rear mandatory open space, a minimum chamfer of 6' X 6' shall be provided at the rear two corners of the building on the ground floor level (see fig. 9.2).
9. In case a commercial building is proposed to be used for multi-purposes like hotel, banquet hall or apartments etc. the parking requirements for these uses shall be calculated separately on the basis of proposed uses as above-mentioned SOP's.

### **9.3.7 SIGNAGE**

1. The building plans should clearly show entry, exits, gradient of ramp, turning radius, storage spaces, circulation and movement of vehicles etc.
2. Proper parking signage such as entry and exit, directional arrows and road marking must be provided.

### **9.3.8 CONSTRUCTION OF PARTITION WALLS**

No partition walls shall be constructed in parking areas.

### **9.3.9 INCENTIVE FOR PROVISION OF ADDITIONAL PARKING**

Following incentives shall be given to the builder for providing car parking spaces over and above the requirements:

1. If the car parking spaces are 10% more than the requirement then the building plan fee shall be reduced by 10%.
2. If the car parking spaces are 20% more than the requirement then the building plan fee shall be reduced by 20%.

Figure 9.1: Ramp

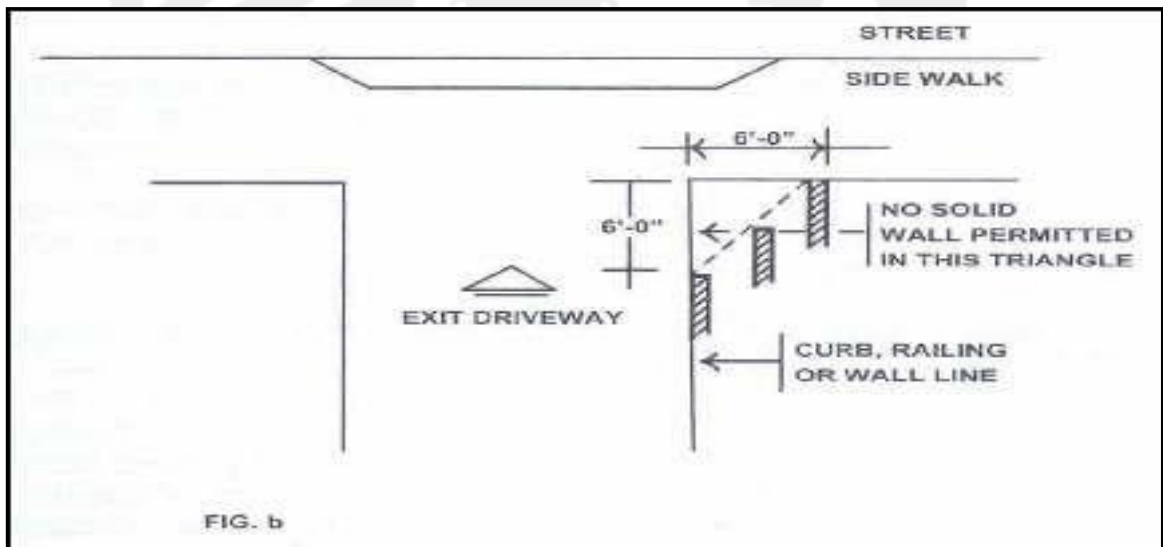
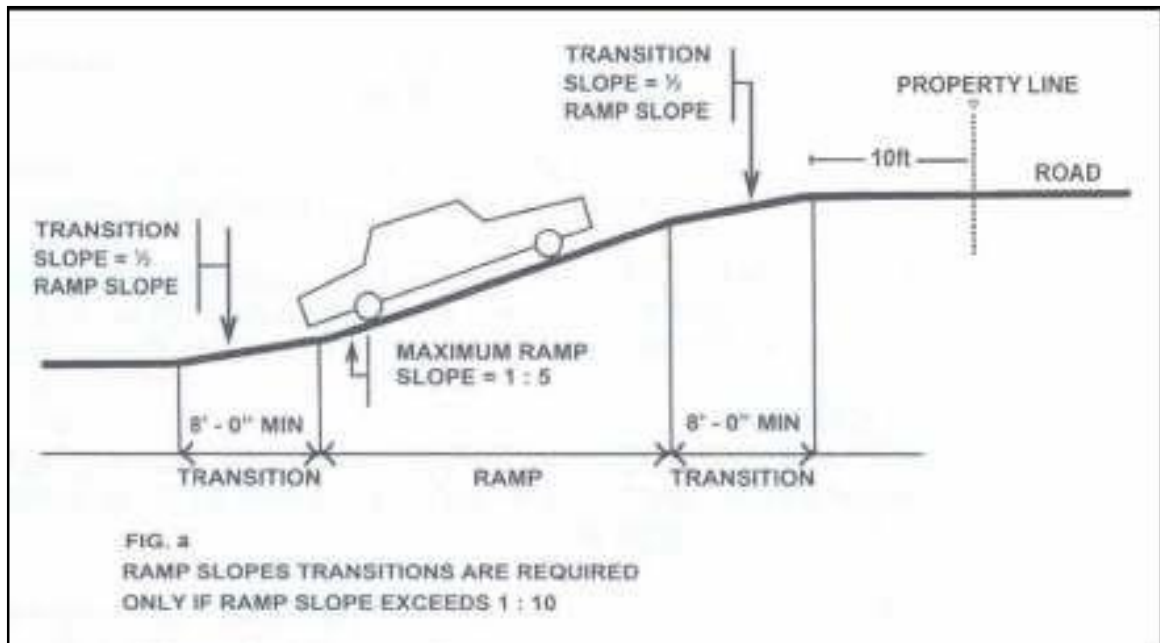


Figure 9.2 Chamfering of Driveway

## 10 FIRE RESISTANCE AND FIRE PRECAUTIONS

### 10.1 GENERAL

For all fire safety measures minimum recommendations of Pakistan Building code/ IBC 2006 shall be followed. A building or any structural part of a building, other than a single storey building should have an adequate standard of fire resistance and shall include the following components:

#### 1. The External Walls:

All partition walls and the enclosing walls of stair-cases should be minimum of 9 inches (0.23 m) of solid brick work or 4 inches (0.09 m) reinforced concrete or 4 inches (0.1 m) solid concrete block.

#### 2. The Floors and The Roof:

A minimum of 5 inches (0.09 m) of reinforced concrete.

### 10.2 SPECIAL BUILDINGS

1. Every garage shall be constructed in fire resistant materials.
2. Special provisions shall apply to places of assembly, stages in theatres and cinema projection rooms.

### 10.3 FIRE PRECAUTIONS IN AIR-CONDITIONING SYSTEM

1. Except in residential buildings, all air conditioning or ventilation ducts including framing, shall be constructed entirely of non-inflammable materials and shall be adequately supported throughout their length.
2. Where ducts pass through floors or walls, the space around the duct shall be sealed with rope asbestos, mineral wool, or other non-inflammable material to prevent the passage of flames and smoke.
3. The air intake of any air-conditioning apparatus shall be situated so that the air does not re-circulate from any space in which objectionable quantities of inflammable vapors or dust are given off and shall be so situated as to minimize the drawing of inflammable material or other fire hazards.
4. Where the duct systems serve two or more floors of a building or pass through walls, approved fire dampers with fusible links and access doors shall be located at the duct opening and such dampers shall be so arranged that the disruption of the duct will not cause failure to protect the opening.

### 10.4 FIRE EXTINGUISHING

Every new building except residential buildings up to 3 storeys in height shall be provided with sufficient means for extinguishing fire as follows:

1. All buildings shall have one multipurpose (A, B, C) dry chemical powder 6 Kg fire extinguisher for each 2,000 Sft. of floor area. At least two fire extinguishers of 6 Kg each shall be placed on each floor (if floor size is less than 2,000 Sft.)
2. The maximum travel distance to a fire extinguisher shall not exceed 75 ft. but for kitchen areas this distance is 30 ft.
3. Firefighting buckets.

4. An independent water supply system in pipes of steel or cast iron with adequate hydrants, pumps and hose reels.
5. All multistory buildings having four to ten floors shall have a pressurized internal fire hydrant system with an independent over-head water tank of minimum 7,500 gallons and external under-ground water tank of 15,000 gallons. In case where the building is over 10 storeys high, it shall have an independent over-head tank of 15,000 gallons and external under-ground water tank of minimum 30,000 gallons. The external underground water tank shall be accessible to the fire-fighting vehicles at all times.
6. The pressurized internal fire hydrant system must be independent and separate from the normal water supply system and shall be maintained at 3-5 bar pressure at all floors through an electric pump of suitable capacity for firefighting, which remains operational even if the power supply of main building is shut off.
7. The hydrant system must have two compatible standard inlets at ground level for connecting with the emergency fire vehicles.
8. The pressurized internal fire hydrant system must have a water hydrant outlet (with Shut off valve and pressure gauge) connected to a 1.5-inch x 100 ft. fire hose stored in a metallic hose cabinet at or near an emergency staircase.
9. All firefighting pumps must be placed in such a manner that their base is at least two ft. below the bottom of the water tank.
10. For external fire hydrants all buildings must incorporate engine operated standby external fire-fighting pump connected to adequate water source and supplying water to an external pipeline serving to external fire hydrants.
11. The external fire hydrant must be located at least 6 ft. away and not more than 50 ft. from the building. The distance between any two hydrants must not exceed more than 100 ft.
12. Separate fire exit stairs.
13. Fire Alarm System.
14. First Aid Box.
15. Smoke masks.
16. Breathing apparatus.
17. A plan showing the firefighting provisions in the building shall be displayed at the site.

## 10.5 FIRE DRILLS

Necessary directions shall be issued to the occupants/owner of the multi-storey buildings and buildings of public assembly to hold/arrange firefighting drills at frequent intervals but at least once a year in consultation with the Firefighting Department of the City District Government, RDA or CDA.

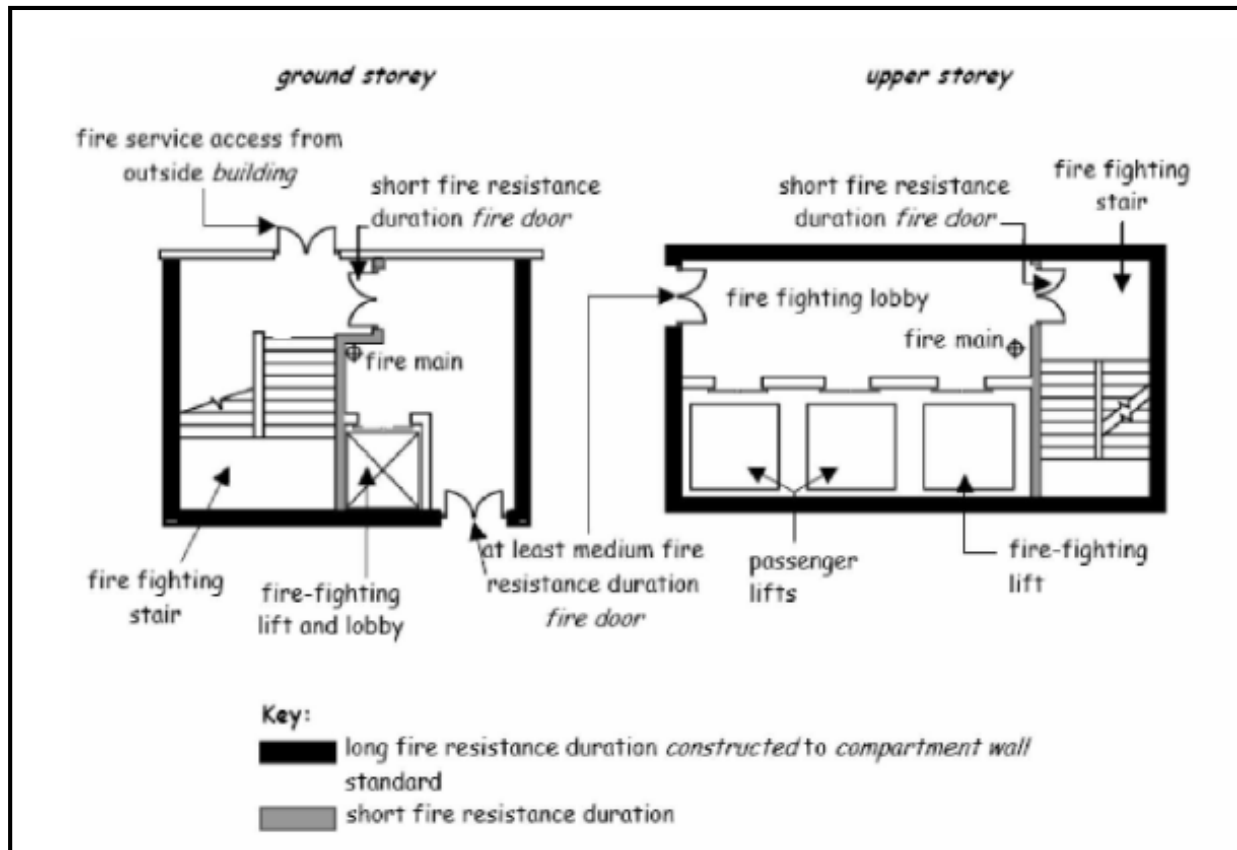


Figure 10.1

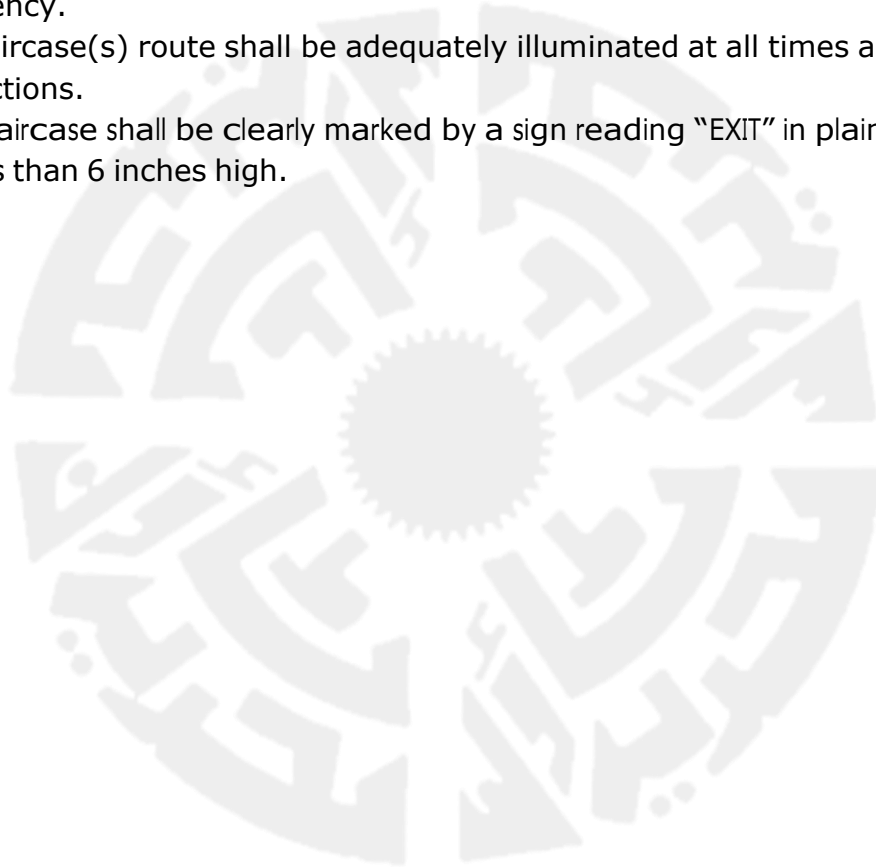
**NOTE: All firefighting arrangements shall comply with the requirements under Rule 9 of Civil Defense (Special Powers) Rules 1951.**

## 10.6 EMERGENCY EXIT SPECIFICATIONS

### 10.6.1 MEANS OF ESCAPE IN CASE OF EMERGENCY

1. All means of escape from a building including extra corridors, stairs etc. shall permit unobstructed access to a street or to an open space or to an adjoining building or roof from where access to the street may be obtained.
2. All buildings shall have windows on the street elevation within convenient reach and of adequate size to enable people to escape in case of emergency.
3. Every block of apartment buildings having more than 6 apartments at each floor shall be served with an additional stair-case.
4. In a block of apartment buildings, emergency stair-cases shall be provided in addition to the main stair-case/stair-cases.
5. An emergency stair-case shall be sited at such a position that it should be accessible to all the apartments without any hindrance or obstruction and it should be open to a permanently ventilated space.
6. Every multi-storey building should be provided with emergency stair case/staircases as the case may be in addition to the main staircase/staircases in the following manner:

- i. For buildings on plots less than 2,000 SQY: 1 emergency staircase.
  - ii. For buildings on plots 2,000 SQY. & above: 2 emergency staircases located at two ends of floor.
7. The staircase shall be separated from the main building by two fire doors, opening outwards. The fire door shall be hinging type with clear width of at least 3 ft. and minimum one hour fire resistant rating.
8. The staircase shall have an accessible window or opening towards the road with adequate size (minimum 2.5' X 3') to enable evacuation of persons in case of an emergency.
9. The staircase(s) route shall be adequately illuminated at all times and free from all obstructions.
10. Each staircase shall be clearly marked by a sign reading "EXIT" in plainly legible letters not less than 6 inches high.



BAHRIA TOWN

## 11 ELECTRICITY DISTRIBUTION NETWORK

### 11.1 RESIDENTIAL DEMAND CRITERIA

The following criteria shall be followed to calculate the electricity load:

#### 11.1.1 1,000 SQY. & ABOVE

1. Light points	= 90 x 100	= 9.000 k.w.
2. Ceiling Fans	= 15 x 80	= 1.200 k.w.
3. Exhaust Fans	= 06 x 80	= 0.480 k.w.
4. Ordinary Plug	= 25 x 100	= 2.500 k.w.
Connected Loads	<b>= 13.180 k.w.</b>	
Maximum Demand with 30% Demand Factor	= 13.18 0x 0.30	= 3.954 k.w.
Load with 100% Demand Factor		
1. Air Conditioners	= 4 x 2.5000	= 10.0000 k.w.
2. Electric Iron (Power Plug)	= 2 x 1.000	= 2.0000 k.w.
Total Demand	= 3.954 + 10.000 + 2.0000	= 15.954 k.w.
<b>Say</b>	<b>=</b>	<b>16 k.w.</b>

#### 11.1.2 500 SQY.

5. Light points	= 60 x 100	= 6.000 k.w.
1. Ceiling Fans	= 10 x 80	= .800 k.w.
2. Exhaust Fans	= 03 x 80	= 0.240 k.w.
3. Ordinary Plug	= 15 x 100	= 1.500 k.w.
Connected Loads	<b>= 8.540 k.w.</b>	
Maximum Demand with 30% Demand Factor	= 8.540 x 0.30	= 2.562 k.w.
Load with 100% Demand Factor		
1. Air Conditioners	= 2 x 2.5000	= 5.0000 k.w.
2. Electric Iron (Power Plug)	= 1 x 1.000	= 1.0000 k.w.
Total Demand	= 2.562 + 5.000 + 1.000	= 8.562 k.w.
<b>Say</b>	<b>=</b>	<b>9 k.w.</b>

#### 11.1.3 250 SQY.

1. Light points	= 30 x 100	= 3.000 k.w.
2. Ceiling Fans	= 6 x 80	= 0.480 k.w.
3. Exhaust Fans	= 03 x 80	= 0.240 k.w.
4. Ordinary Plug	= 10 x 100	= 1.000 k.w.
Connected Loads	<b>= 4.720 k.w.</b>	
Maximum Demand with 30% Demand Factor	= 4.720 x 0.30	= 1.416 k.w.
Load with 100% Demand Factor		
1. Air Conditioners	= 1 x 2.5000	= 2.500 k.w.
2. Electric Iron (Power Plug)	= 1 x 1.00	= 1.0000 k.w.

$$\begin{aligned} \text{Total Demand} &= 1.416 + 2.500 + 1.000 = 4.916 \text{ k.w.} \\ \text{Say} &= \mathbf{5 \text{ k.w.}} \end{aligned}$$

**11.1.4 125 SQY.**

1. Light points	= 15 x 100	= 1.500 k.w.
2. Ceiling Fans	= 5 x 80	= 0.400 k.w.
3. Exhaust Fans	= 2 x 80	= 0.160 k.w.
4. Ordinary Plug	= 5 x 100	= 0.500 k.w.
5. Power Plug	= 1 x 1000	= 1.000 k.w.
Connected Loads		<b>= 3.560 k.w.</b>
Maximum Demand with 30% Demand Factor	= 3.56 x 0.30	= 1.068 k.w.
Load with 100% Demand Factor		
1. Electric Iron (Power Plug)	= 1 x 1.000	= 1.0000 k.w.
Total Demand	= 1.068 + 1.000	= 2.068 k.w.
Say		<b>= 3 k.w.</b>

**11.1.5 75 SQY.**

1. Light points	= 12 x 100	= 1.200 k.w.
2. Ceiling Fans	= 5 x 80	= 0.400 k.w.
3. Exhaust Fans	= 2 x 80	= 0.160 k.w.
4. Ordinary Plug	= 5 x 100	= 0.500 k.w.
5. Power Plug	= 1 x 1000	= 1.000 k.w.
Connected Loads		<b>= 3.260 k.w.</b>
Maximum Demand with 30% Demand Factor	= 3.260 x 0.30	= 0.978 k.w.
Load with 100% Demand Factor		
1. Electric Iron (Power Plug)	= 1 x 1.000	= 1.0000 k.w.
Total Demand	= 0.978 + 1.000	= 1.978 k.w.
Say		<b>= 3 k.w.</b>

**11.2 COMMERCIAL CENTERS**

Total demand of commercial centers will be calculated as given below

## 1. Lighting Load

Sr. No.	Description	Load/ Sft. of Floor Area (Watts)
1	Banks, Office Buildings	5
2	Barber Shops & Beauty Parlors, Shops	4
3	Schools, Mosques, Dwellings	3
4	Hospitals, Courts Rooms, Clubs, Restaurants, Hotels & Motel	2
5	Lodge Rooms	1.5
6	Churches, Armories & Auditoriums	1
7	Garages, Corridors	0.5
8	Ware-House Storages	0.25



2. Fan Load 2 watts/ Sft.
3. Air Conditioning Loads 8 watts/ Sft.
4. Other Appliances (such as T.V. etc.)

### 11.3 APARTMENTS

Electricity demand for apartments is 7 watts/sft.

### 11.4 PARKS PLAY GROUNDS AND STADIUMS

Electricity demand for parks, playgrounds and stadiums are 0.25 watts/sft.

### 11.5 ELECTRICITY METERS IN COMMERCIAL & APARTMENT AREAS

Every shop, office or apartment unit within a commercial plot will have single meter. All meters of the building will be designed & installed at a single point, well in approach of concerned office of Management.

### 11.6 ELECTRICAL LOAD

Electricity Meter shall be issued after having a report for electrical personal regarding load and testing.

After installation of electric meter for under construction house, house owner will install suitable capacity, Circuit Breaker beyond meter to avoid interruption in the network.

### 11.7 DESIGN VETTING OF MEP DRAWING

MEP design of such building having load 01 MW and above (Electrical portion) is required to be vetted by respective Technical Committee.

<b><u>North Wing</u></b>			
<b><u>Sr#</u></b>	<b><u>Name</u></b>	<b><u>Designation</u></b>	<b><u>Contact #</u></b>
1	Engr Azhar Mahmood	GM (Grid Station & Billing)	0334-5270693
2	Engr Ahmed Kamal Shahid	GM Elect. Development	0322-8567783
3	Saleem Zada	Manager Electrical	
4	Mazhar Inam Qureshi	SDO (P&I) Ph-IV Grid Station	051-5179716 051-5179717

**South Wing**

<b><u>Sr#</u></b>	<b><u>Name</u></b>	<b><u>Designation</u></b>	<b><u>Contact #</u></b>
1	Engr Azhar Mahmood	GM (Grid Station & Billing)	0334-5270693
2	Engr Ahmed Kamal Shahid	GM Elect. Development	0322-8567783
3	Engr Ali Usman	Manager Electrical	0333-5122800
4	Engr Ahmed Ihsan	SDO (P&I) Ph-IV Grid Station	

**Spring North / Safari Project**

<b><u>Sr#</u></b>	<b><u>Name</u></b>	<b><u>Designation</u></b>	<b><u>Contact #</u></b>
1	Engr Azhar Mahmood	GM (Grid Station & Billing)	0334-5270693
2	Engr Ahmed Kamal Shahid	GM Elect. Development	0322-8567783
3	Intikhab Ahmed	GM Elect. Development	
4	Engr Ahmed Ihsan	SDO (P&I) Ph-IV Grid Station	

## 12 REGULATIONS

### 12.1 ALUMINUM/UPVC WINDOWS

Fixing of aluminum/UPVC windows for front façade is mandatory.

### 12.2 APPROVED DRAWINGS:

The member/contractor must keep one set of approved drawings on site, which may be made available to Bahria Town staff during inspection. In case of non-availability of approved drawings; fine would be imposed as per Bahria Town policy.

### 12.3 BAY WINDOW

Bay windows are allowed up to maximum projection of 1'. Fixed elevations are to be followed.

### 12.4 BOUNDARY WALL

1. The height of the boundary wall shall not exceed 7 ft. from the front road level.
2. Walls and gate designs are also fixed for fixed elevations.
3. A safety grill upto 2'-6" can be provided above the boundary wall in side and rear boundary wall.
4. If two adjacent plots are owned by single owner or different owners having blood relations (parents and their children, brothers and sisters or husband and wife) then the boundary wall can be exempted/omitted subject to temporary merging of the plots. (Annexure-Y), through Customer Support Center.
5. In order to avoid disputes no common wall shall be allowed.

### 12.5 USE OF PRE-MIX CONCRETE

In commercial areas, allottee(s) are required to use pre-mix concrete for pouring purpose in order to keep commercial areas neat and clean during construction period. In residential area, inhabitation reaches to 65%, use of pre-mix concrete is mandatory in view of open plots for dumping of construction material.

### 12.6 ELECTRIC CONNECTION

1. Bahria Town is responsible for provision of electric connections. First electric connection at the start of construction will be provided when allottee(s) will fix meterbox on 4 X 4 feet wall. After construction same meter box will be shifted on boundarywall.
2. Allottee(s) are required to provide three phase circuit breakers on load side of meter to avoid interruption on main service line.
3. To ensure that no damage is caused to electric appliances and human beings in theresidential or commercial buildings, allottee(s) should provide earth resistance point less than 5 ohms.
4. Resident will lay 2" PVC pipe at least 2' depth from Electrical Distribution Box (DB) to meter box through which electric cable will be laid.
5. Electric cable with Meter 1st issue will be against utility connection

- charges any later issue/replacement will be on payment.
6. Minimum 20 mm x 5' long earthing rod in earthing pit or as per IESCO (WAPDA) specifications.

#### **12.7 USE OF OXO-BIODEGRADABLE D2W PLASTIC BAGS**

Allottee(s) are required to use OXO-Biodegradable D2W plastic bags for putting kitchen waste in dust bin.

#### **12.8 PLACEMENT OF STAND BY GENERATORS**

Allottee(s) are required to place stand by generators either in basement or on top of commercial buildings in sound proof canopies.

#### **12.9 THROWING OF WASTE MATERIAL OTHER THAN KITCHEN WASTE**

Allottee(s) are required not to throw any waste material in dustbins other than kitchen waste which should be wrapped in plastic bags.

#### **12.10 USE OF SERVICE AREA OTHER THAN SOFT PLANTATION**

Allottee(s) are not allowed to farm vegetables, construct fountains or slides/swings in service areas or adjacent vacant plots.

#### **12.11 WASHING OF VEHICLES ON ROAD/PORCH**

Allottee(s) are required not to wash their vehicles on roads or on ramps to avoid damage to roads. Defaulter will be imposed penalty.

#### **12.12 ABIDING FOOD SAFETY GUIDELINES**

All food outlets whether serving food or selling food items are required to abide by the Bahria Town food safety guidelines. Defaulters are liable to be imposed fine.

#### **12.13 EXTRA LAND ENCHROCHEMENT**

Allottee(s) are required not to use in any way services area, services corridors or open space adjacent to their houses or commercial unit in any way.

#### **12.14 DAMAGES**

Damages to/tempering with the service laid is strictly forbidden. In case of damages to road or services, the cost of repair work shall be recovered from the member. Bahria Town also reserve the right to initiate any punitive action as deemed appropriate. Extra care should be taken while digging to avoid damages to these services.

#### **12.15 CONSTRUCTION/ADDITIONS/ALTERATIONS**

No construction, addition or alternation shall be allowed unless drawings are approved by the Design Wing.

#### **12.16 CONSTRUCTION PERIOD**

The member must start construction of building within three years from the date of issue of first possession letter failing which the Bahria Town reserves the right to take

any punitive action including non-Utilization fee, cancelation as deemed necessary by Bahria town management. However, construction once started, requires completion within 18 months up to 1Kanal with completion certificate and more than 1 Kanal requires completion within 3 years with completion certificate (Starting from the date of Physical demarcation). Bahria Town reserves the right to impose penalty or if construction is not up to completion of the slab, demolish the structure.

**Note:** Construction timings are from sunrise to sunset.

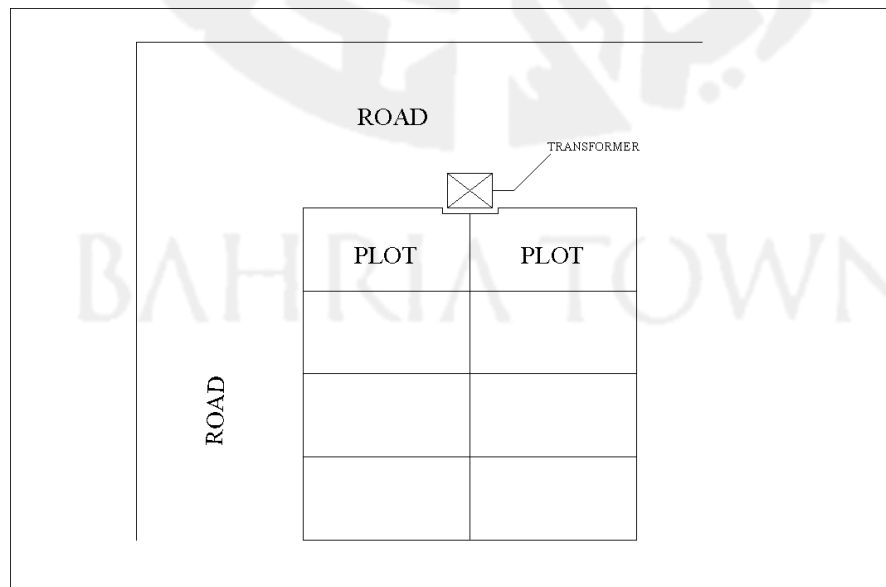
For special scenario to extend construction working hours client has to get approval from Design Wing.

### 12.17 CONSTRUCTION WASTE/EXCAVATED MATERIAL

1. Construction waste shall not be dumped in adjacent vacant plots and instead should be disposed of at designated Dumping sites.
2. Construction material shall not be dumped on roads or foot path.
3. In case of digging, extra soil shall not be dumped in adjacent plots but should be disposed of at designated Dumping Sites through Bahria Services Department on payment.
4. Fine shall be imposed on the violators by Services Department.
5. In case the allottee(s) do not remove construction waste regularly during construction period, services department will arrange its final disposal on allottee(s) risk and cost with fine.

### 12.18 CLEAR SPACE AROUND TRANSFORMERS

Clear space of minimum 2' shall be left all around transformers, in case of the foundation/base of the Transformers is coming inside the plot.



### 12.19 SOP'S ENFORCEMENT

1. Qualified Building Inspectors have been employed to enforce SOP's of houses /buildings through regular inspections as per Check List/Inspection Card obtained

from Building Control Department. The Card must be kept at site for entries by the Inspectors.

2. Members are required to keep one set of working/detail drawings on site, which will be made available to the Enforcement Staff during inspections.
3. Approved elevation has to be strictly followed.
4. For violation of SOP's, Electric and Water Supply connections are liable to be disconnected and fines/penalties can also be imposed as devised by the Management from time to time.

## 12.20 INSPECTION STAGES (RESIDENTIAL BUILDINGS)

Following list explains the inspection stages at different time during construction of residential buildings:

1. Demarcation of site.
2. Before excavation contact B.C.D.
3. Layout of building / Basement Ground Floor.
4. Layout of building with setbacks.
5. Construction of boundary wall up to D.P.C.
6. D.P.C level with setback porch level 8" from center of the road.
7. Underground water tank (Size only).
8. Ground floor windows lintel shuttering.
9. First slab shuttering.
10. Porch slab shuttering.
11. Layout of first floor.
12. First floor window lintel shuttering.
13. First floor roof slab shuttering.
14. Overhead water tank (Size only).
15. Layout of Mumty.
16. Mumty slab shuttering.
17. Rear elevation.
18. Road side elevation.
19. Ramp 8" high from the road level & laying of 3" dia three pipes outside gate for services.
20. Septic tank (Basement, Ground floor).
21. Gully trap at gate for car wash + plinth protection.
22. Internal drainage (for rain water) should be connected to road/drain.
23. Front boundary wall design.
24. Side boundary wall.
25. Rear boundary wall.
26. Gray structure before finishes.
27. In case of corner plot boundary wall should be chamfered.
28. Exterior finishing (Material/Color).
29. Gas/Electric meters installation + service ducts.
30. Site clearance + spiral stairs on setbacks.

### Note:

1. Inspection Card to be kept at site for entries by Building Inspector and Architects.
2. Every stage must be informed to Building Control Department/Architects one day earlier before execution.
3. Before starting construction of house, it is mandatory that boundary wall shall be built up to D.P.C. level and get checked by Bahria Services.

4. Final certificate shall not be issued unless filled inspection card is deposited in Building Control Department along with completion certificate from the structural consultant (Who designed and supervised the construction).

### **12.21 INSPECTION STAGES (COMMERCIAL BUILDINGS)**

Following list explains the inspection stages at different time during construction of commercial buildings:

1. Demarcation of Site.
2. Layout of piles.
3. Standard protector compaction test (After Excavation).
4. Re-demarcation (after laying P.C.C).
5. Layout of foundation (Basement).
6. Underground water tank & septic tank/Sump (Size only).
7. Foundation Basement Columns & Stair Case (Layout Only).
8. Retaining Walls (Layout Only).
9. Left Well & Stairs.
10. First Basement Slab Shuttering.
11. Second Basement Slab Shuttering.
12. Third Basement Slab Shuttering.
13. Corridor connection and steps.
14. Lower Ground Slab Shuttering.
15. Ground floor slab and shuttering.
16. Finish floor level ground floor.
17. 1st floor slab and shuttering.
18. 2nd floor slab and shuttering.
19. 3rd floor slab and shuttering.
20. 4th floor slab and shuttering.
21. 5th floor slab and shuttering.
22. 6th floor slab and shuttering.
23. 7th floor slab and shuttering.
24. O.H.W.T (Size only).
25. Mumty (Size only).
26. Mumty/ O.H.W.T shuttering.
27. Lift Machine Room Slab.
28. Sleeves for water pipe/electric cables & telephone cable to be laid in retaining wall of lower
29. Ground floor/basement.
30. 3X pipes of 4" dia laid under external stair (in service area)
31. Exterior finishing approval from concerned architect.
32. Rain water should be connected to road/drain water channel.
33. Gas and electric meters at approved location.
34. Telephone junction box.
35. Firefighting arrangement – fire alarm, smoke detector, fire hose reel, fire extinguisher, fire exit stair.
36. Lift operational.
37. Earth wire.

38. Sign board (hoarding) approval from Chief Architect (Commercial).
39. Connection sewerage with Bahria manhole.
40. AC outdoor unit at approved location/hidden/covered.
41. Ducts for all services.
42. Instruction board.
43. Rooftop cleanliness.
44. Site clearance.

**Note:**

1. To be kept for entries by building inspector.
2. Every stage must be informed to design wing commercial one day earlier before execution.
3. Before starting construction of building it is to cover all material with green net.
4. Completion certificate will not be issued unless filled inspection card is deposited in Building Control Department.
5. At any stage building inspector can pass the instruction to client for conduction Steel Tensile Test and client will bear the fee.
6. At any stage building inspector can pass the instructions to client for conduction Schmidt Hammer Test for concrete strength (foundation, column, slabs & beams) and client will bear the fee.
7. At any stage building inspector can pass the instructions to client for conduction Tube Test for concrete compressive strength (foundation, column, slabs & beams) and client will bear the fee.
8. A/C out door units must be places / installed on the top of building as per building instruction.
9. To be checked by concerned architect as well.
10. Owner/Contractor will be responsible for Masonry work, Curing, Plastering, Concreting and quality.
11. Plinth Protection & to stop ingress of water to foundation will be the responsibility of owner/contractor.
12. 10,000 charge for stage missing on affidavit.
13. 60,000 charges if inspection card is misplace / lost by owner of plot and client will bear all charges of essential test recommended by concerned engineer.

**12.22 INSPECTION CARD**

In case of loss of Inspection Card, an affidavit will be submitted by the Plot owner regarding the acceptance of responsibility of stability of the structure along with structure stability certificate from the structural consultant. Second/New Inspection Card will be issued for Rs. 6000/- (verified by BCD) / Rs. 60,000/- (not verified by BCD).

**12.23 DEMARCATION OF PLOT**

1. On receipt of original allotment letter and possession certificate Bahria Services will demarcate the plot to the owner.



2. Members to submit an application for demarcation on prescribed form to Bahria Services at least 7 days in advance.

#### **12.24 DISPOSAL OF DEBRIS/CONSTRUCTION WASTE**

1. The allottee(s) are not allowed to throw the construction waste in adjacent plots. The proper disposal of construction waste shall be the sole responsibility of the owner. The disposal sites will be indicated by Bahria Town. In case of violation the guilty shall be penalized. However, the disposal of excavated material will be done through Bahria Services Department on designated sites by paying disposal charges to B.C.D/Bahria Services Department.
2. In case the allottee(s) do not remove construction waste regularly during construction period, Services Department will arrange its final disposal on allottee(s) risk and cost with fine.

#### **12.25 OVERSIGHT IN SCRUTINY OF DRAWINGS**

Any oversight in the scrutiny of drawings at the time of approval of the building plan does not entitle the owner to violate the SOP's. Design Wing reserves the right to revise approved drawings and interfere during/after construction and modify any built structure including demolition of structure or part or of it as per SOP's.

#### **12.26 POSSESSION OF PLOTS**

Following procedure is laid down:

1. Owner of plot will submit an application for possession of plot to GM (Operations) of Bahria Town. Estate & Record Office after verification will forward requisite Performa to Bahria Services.
2. Bahria Services will prepare the Possession Certificate and return to GM (Operations).
3. Possession Letter is valid for six months only and if the execution is not started within this period, then after six months fresh possession is required to be taken.
4. After clearance of all dues, GM (Operations) will issue the Original Allotment Letter to the allottee(s).

#### **12.27 FINAL NOC**

Once the building is completed the owners are required to get Final NOC from Design Wing to occupy/get changed the electricity tariff and to have maintenance services. Upon Violation, NOC issued, can be cancelled.

#### **12.28 DEMOLITION POLICY**

1. The building will be demolished under the close supervision of the structure engineer.
2. All safety measure will be taken while demolishing work is under way.
3. All structure engineering specifications and codal formalities will be followed during this demolishing process.
4. The owner will submit and undertaking that if any damage to adjacent buildings accrues, he will be fully responsible for damages.
5. Building material will be immediately removed from site as per SOP's of Bahria Town.

6. Demolishing work will be finish before 05:00 PM.
7. Client will follow the bylaws of Bahria Town / CDA / RDA / MCR / DC.
8. During demolishing course, green cloth will be fixed towards both adjacent houses to avoid dust issues.
9. If the adjacent building is attached a bank guaranty equal to the construction cost of the attach building / attached part of building will be submitted before demolishing approval is granted.
10. NOC from adjacent buildings will be required from the client.
11. During the demolition, building control department as well as maintenance department should be present on site.

#### **12.29 OCCUPATION OF HOUSE/COMMERCIAL UNITS**

Owners shall not occupy the houses/commercial units/apartments/offices without obtaining Final NOC from Design Wing and the Final NOC shall be deposited in Maintenance Department along with application for provision of services and change of tariff for electricity bills.

#### **12.30 PREROGATIVE OF MANAGEMENT**

The Management reserves the rights of rejecting the plans or modifications which though may not contravene the SOP's but are detrimental to the interest of the Bahria Town/Community.

#### **12.31 PRIVACY**

All members particularly the builders are expected to respect the privacy of the neighbors. Architects are well advised to have due regard for the privacy while designing the building.

#### **12.32 HIRING OF HOUSE**

Any tenant hiring the house will get an NOC from Security department of Bahria Town.

#### **12.33 VEHICLES STICKERS**

All the members residing in Bahria Town are bound to get their vehicles stickers from Security department of Bahria Town after filling requisite forms.

#### **12.34 RASH/UNSAFE DRIVING**

All the residents are requested to drive within allowable limits in Bahria Town. Driver caught over speeding/unsafe driving will be liable to traffic laws. Underage driving is strictly prohibited. Similarly driving a motorbike without safety helmet is not allowed within Bahria Town premises.

#### **12.35 SERVANT PASSES**

Members should get passes for all servants from Security department.

**12.36 HAZARDOUS MATERIALS/CHEMICALS**

Storage of any kind of hazardous materials / chemicals in residential / commercial buildings is strictly prohibited.

**12.37 GENERATORS**

Generators shall not be used as a prime source of electric supply. It may be used as standby with following conditions:

1. Petrol or diesel driven generator with soundproof canopy may be installed.
2. Noise beyond the boundary limit shall not be allowed i.e noise control arrangements must be made.
3. Generator should be placed on rooftop (roof slab must be designed for structural stability to sustain the weight of generator) or in front lawn 5ft away from common boundary wall. However, the generator shall not be placed in rear and side setbacks at ground floor and terraces at first floor.

**12.38 CANCELLATION OF NOC**

If at any stage after getting NOC a client is found violating SOP's:

1. He/she will be served single notice in a span of one week and NOC will be cancelled after 7 days.
2. The fine of Rs 1,000/- per day will be imposed starting after 7 days of the issuance of notice till the removal of violations and applying for revised NOC.
3. If client fails to pay fine within specific time period and persistently violates the SOP's, then Bahria Town reserves the right to disconnect/discontinue services till the payment of fine and all the violations are rectified/cleared which will be checked by BCD and services department.

**12.39 PROVISION OF TELECOM SERVICES RO UNDER CONSTRUCTION HOUSES AND COMMERCIAL PLAZAS**

Provision of Telecom Services to Houses/Commercial Plaza's will be subject to obtaining **Completion Certificate** from Design Wing.

**13 HEALTH AND SAFETY GUIDLINES**

1. Architect and engineers should make sure safety of the building by practicing proper engineering technique, professional skills and execution procedures as per health and safety standards.
2. Architects, engineers and other professional persons involved in design of building should make sure not to include anything in the design that would necessitate the use of unwarrantably dangerous structural procedures and undue hazards, which could be avoided by design modifications.
3. Every member, contractor, and sub-contractor shall make an arrangement during operation, handling, transport, storage of building material to ensure the safety and health of the labor and public.
4. Every member, contractor and sub-contractor shall ensure that all workers are properly informed of the hazards of their respective occupations and the precautions

necessary and adequately supervise to avoid accidents, injuries and risk to health, in particular that of young workers, newly engaged workers and illiterate workers.

5. Blasting and use of explosives for excavation/demolition is not allowed.
6. Debris shall be handled and disposed of by a method, which will not endanger workers and public safety and health.
7. No one under the age of 14 is permitted on the Habitat construction site.
8. Use of ladders is not allowed during poor weather or on windy days.
9. Safety of worker, labour and visitor will be sole responsibility of member / owner.



BAHRIA TOWN

## TEMPORARY MERGER OF COMMERCIAL UNITS

Temporary Merger of Shop / Office / Apartment\_\_\_\_\_Floor\_\_\_\_\_size\_\_\_\_\_Plaza

Phase\_\_\_\_\_with Shop / Office / Apartment Floor\_\_\_\_\_size\_\_\_\_\_Plaza \_\_\_\_\_

Phase\_\_\_\_\_.

We the undersigned, as per the names of deponents and other details mentioned against each, in possession of full sense, free will and without any coercion or duress do hereby solemnly affirm and declare as under:

1. That I am / we are the bonafide member(s) of Bahria Town Rawalpindi / Islamabad vide registration numbers\_\_\_\_\_details mentioned below.
2. We hereby request the management of Bahria Town to temporarily merge the commercial Unit mentioned below and allow us to eliminate the common wall between our Units mentioned below. Moreover, we undertake the responsibility that the Design of building will remain as per approval of design wing / rules defined in construction by – laws of Bahria Town (Pvt) Ltd.
3. If any one of the commercial Unit is sold the wall will be constructed by the seller at his risk and cost before transfer of the Unit or he/she will furnish this undertaking along with transfer documents.
4. We do undertake the responsibility that above mentioned wall will be constructed within fifteen (15) days at our cost and risk when asked by management of Bahria Town (Pvt)Ltd or desired by any one of us with due intimation to Head Office and as per design given by Design wing.
5. That I / we hereby undertake and do hereby indemnify the Bahria Town (Pvt) Ltd against all losses, injuries, harms, damages, dues, if any, that may be occasioned to the Bahria Town because of non-construction of the aforementioned wall by any one of us.
6. That I / we further undertake to abide by all the rules and regulations of Bahria Town (Pvt) Ltd, CDA, RDA and DC/MC which are presently enforced or to be enforced in future.
7. That I / we hereby under take to pay any variation in electrification and maintenance charges due to temporary merger of units or any other charges on account of utilities etc on demand from Bahria Town (Pvt) Ltd as Bahria Town Maintenance office will start charging these shops / offices / apartments as one unit for the purpose of electric and Maintenance bill etc.
8. I / we hereby undertake to pay tax levied by the relevant authority as and when demanded
9. I / we undertake to abide by all the terms and conditions given above and also signed by me / us as per initial application form /allotment letter of my / our property.

10. Moreover I / we will not challenge / confront the above terms and conditions at any forum or before any court / authority.

11. Bahria Town reserves the right to cancel the issued NOC or impose financial penalties on violations.

S.no	Name of Owners	CNIC	Registration #	Floor	Size (Sq. Ft)	Plaza #	Phase

DEPONENT

Witnesses:

Signatures: 1. \_\_\_\_\_

1. \_\_\_\_\_ Signatures: 2. \_\_\_\_\_

2. \_\_\_\_\_ Signatures: 3. \_\_\_\_\_

BAHRIA TOWN

## FINES AND PENALTIES

## ANNEXURE-W

### DESIGN WING-RESIDENTIAL & COMMERCIAL

S. N	Violation	Fine/Amount	
		Residential	Commercial
01	Excavation Without Informing BCD	Rs.100,000/-	Rs.200,000/-
02	Unattended excavated plot left for more than 4 days	Rs. 12,000/- per day Disconnect Services & Cancel N.O.C	Rs. 12,000/- per day Disconnect Services & Cancel N.O.C
03	Damage to Neighbor's Structure	Rs.60,000/- with repair of adjacent house.	Rs.100,000/- with repair of adjacent building.
04	Encroachment in surrounding Plots (Max-3")	Rs. 12,000/- per inch & Repossession of plot.	Rs. 50,000/- per inch & Repossession of plot.
05	Encroachment in Service Areas (Max-3")	Rs.12,000 per inch & Repossession of plot.	Rs.50,000 per inch & Repossession of plot.
06	Change in Approved Drawing without approval	Rs. 120,000/- Disconnect Services & Cancel N.O.C	Rs. 500,000/- Disconnect Services & Cancel N.O.C
07	Unattended underground water tank against hazard	Rs. 12,000/- per day	Rs. 50,000/- per day
08	Building/house not completed after 3 years from start day of construction.	Rs.30,000/- per Month	Rs.50,000/- per Month
09	Not following approved drawings ground floor finish levels	N. A	Rs.100,000/- per inch
10	Violation in space regulation	Rs. 5,000/- per sft. & Demolish	Rs. 10,000/- per sft. & Demolish
11	Violation in covered area	Rs. 5,000/- per sft. & Demolish	Rs. 10,000/- per sft. & Demolish
12	Violation in building ht. above 38' demolition	Rs. 5,000/- per sft. & Demolish	Rs. 10,000/- per sft. & Demolish
13	Inspection card issued for construction by Design wing without site supervisor's signature.	Rs.12,000/- per Stage	Rs.20,000/- per Stage
14	Changes in floor plans during construction without approval from Design wing.	Rs. 6,000/- per sft Each floor	Rs.10,000/- per sft Each floor
15	Violation of Ramp & Porch Height	Rs.12,000 per inch	N. A
16	Violation in Size of Overhead water tank and underground water tank	Rs.600,000/- Each	Rs.600,000/- Each
17	Balcony/Bay window or gallery that violates space regulation	Rs. 6,000/- per sft. & Demolish	Rs. 12,000/- per sft. & Demolish
18	40 sft at rear setback is allowed at one level only. In case of open/sunken basement, allowed only at basement and not in G.F.	Rs.10,00,000/- & Demolish	N. A
19	Projections up to only 2'-6" (Residential)	Rs. 6,000/-per running ft.	N. A

20	Projections above 2'-6" (Residential)	Rs. 6,000/-per running ft. & Demolish	N. A
21	Violation of projections (Commercial)	N. A	Rs.10, 000/- per sft & Demolish
22	Rooftop projections with parapet at front or towards any exposed elevation without approval	Rs.1,20,000/- & Demolish	N. A
23	Increase in height of parapet wall at rooftop	Rs.5000/- per inch	Rs.10,000/-per inch
24	Unauthorized / illegal construction at roof top.	Rs. 120,000/- & Demolish	Rs. 500,000/- & Demolish
25	Installation of any kind of shades in front of houses or commercial building without approval	Rs. 60,000/-& demolish	Rs. 100,000/- & Demolish
26	Change in Height of Boundary wall above 7 feet.	Rs. 60,000/- & Demolish	N. A
27	Installation of straight Staircase in set back	Rs. 120,000/-	N. A
28	Exposed AC. outdoor Units, Geysers, power cable on front elevation or elevations exposed to roads, green areas etc.	Rs. 60,000/- & Cancellation of N.O.C	Rs. 60,000/- & Cancellation of N.O.C
29	Wicket gates in boundary wall, service lanes, green areas other than corner plots, back doors in case of comm. plazas.	Rs. 60,000/- & removal	Rs. 60,000/- & removal
30-a	Violation in Approved front elevations, color schemes, boundary walls, gate designs.	Rs. 60,000/- each violation & rectification	-
30-b	Violation in Approved front elevations, color schemes	-	Rs. 500,000/-each violation & rectification
31	Fixed elevation violation.	Rs. 50,000/- & rectification	Rs. 500,000/- & rectification
32	Fixed elevation boundary wall.	Rs. 30,000/- & rectification	N. A
33	Repaint, change in exterior finishes of building without approval	Rs. 60,000/- & Disconnect Services & Cancel N.O.C	Rs. 100,000/- & Disconnect Services & Cancel N.O.C
34	Violation of sign boards removal along with penalty	N.A	Rs.100,000/-
35	Covering of corridors, passages, setbacks in commercial buildings	N. A	Rs.12,000/- per sft. & Rectification
36	Covering of setbacks in residential buildings	Rs. 10,000/- per sft. & rectification	N. A
37	Fencing of green/service areas outside house. (Service & enforcement)	Rs. 60,000/- & Disconnect Services & Cancel N.O.C	N. A
38	Any Serious Violations. e.g., Missing shoring piles, Excavation without piles, Excavation during monsoon, corridor discontinuation etc.	Rs.500,000/-	Rs.10,00,000/-



39	Not, covering mechanical ditch if not in working situation.	N. A	Rs.5,000/- Per Inspection
40	Without submitting vendors specifications and procedures for installation of curtain wall and without approval.	N. A	Rs.50,000/-

## FINES AND PENALTIES

### ENFORCEMENT & SERVICES

S. N	Violation	Fine/Amount
1	Tempering with main sewer line	Rs. 25,000/-
2	Tempering water supply line	Rs. 25,000/-
3	Car washing on ramp/porch/road and water top opened freely.	Rs. 25,000/-
4	illegal water connection (installation of pump/motor	Rs. 25,000/- & Disconnection
5	Damages to road / footpath & services. Repair of damage will be carried out the defaulters' risk and cost	Rs. 10,000/- & Actual cost of repair
6	Dumping of material on road /shoulder and blockage of drain	Rs. 10,000/- & Shifting Charges
7	Cutting of steel/mixing of motor on road/street	Rs. 25,000/- & Cost of repair
8	Dumping of debris/material on un-auth places	Rs.10,000/- & Shifting charges

**Note:**

Disconnect services and cancellation of NOC: Client has to pay the penalty fee and apply again of reconnection of services and for renewal of NOC from concerned departments.

Repossession of plot: New possession from concerned department

Payment & Demolish/Rectify: Client has to make the payment and Demolish / Rectify whatever is applicable. Management reserves the right to disconnect the Utilities/Services on any violation without any notice.

## MERGER OF RESIDENTIAL PLOTS

We the undersigned, as per the names of deponents and other details mentioned against each, in possession of full sense, free will and without any coercion or duress do hereby solemnly affirm and declare as under:

1. That I/we am/are the Bonafede member(s) of Bahria Town Rawalpindi/ Islamabad vide registration numbers / details mentioned below.
2. We hereby request the management of Bahria Town to merge the plots mentioned below and give one single number / entity to the said plots. Moreover, it is requested that construction of one building be planned/designed on the said plot and also joint ownership be given to under mentioned parties with equal ratio.
3. The building will be designed / constructed as per approval of design wing / rules defined in construction by- laws of Bahria Town (Pvt.) Ltd. Moreover, we do under take the responsibility that division of these plots will not be requested in future.
4. That I/we hereby undertake and do hereby indemnify the Bahria Town (Pvt.) Ltd against all losses, injuries, harms, damages, dues, if any, that may be occasioned to the Bahria Town by the merger of plots, requested here in.
5. That I/we further undertake to abide by all the rules and regulations of Bahria Town (Pvt.) Ltd, CDA / RDA and District Council which are presently enforced or to be enforced in future.
6. That I / we hereby under take to pay any variation in development charges or any other charges on account of utilities etc. on demand from Bahria Town (Pvt.) Ltd.
7. I / we hereby undertake to pay tax levied by the relevant authority as and when demanded.
8. I / we undertake to abide by all the terms and conditions given above and also signed by me/us as per initial application form.
9. Moreover I / we will not challenge/confront the above terms and conditions at any forum or before any court/authority.
10. Bahria Town reserves the right to cancel the issued NOC or impose financial penalties on violations.

S/No	Name	NIC #	Reg. #	Plot	St	Phase	Signature
1.							
2.							
3.							

### DEPONENT

**Witnesses:**

1. \_\_\_\_\_
2. \_\_\_\_\_

**Signatures: 1.** \_\_\_\_\_

**Signatures: 2.** \_\_\_\_\_

**Signatures: 3.** \_\_\_\_\_

(To be attested by the Notary Public)

Annexure-Y  
On Rs.100 Stamp Paper

## TEMPORARY MERGER OF RESIDENTIAL PLOTS/HOUSES

Temporary Merger of Plot / House #-----and Plot / House #-----  
.....St #.....Phase.....

We the undersigned, as per the names of deponents and other details mentioned against each, in possession of full sense, free will and without any coercion or duress do hereby solemnly affirm and declare as under:

1. That I / we am / are the bonafide member(s) of Bahria Town Rawalpindi / Islamabad vide registration numbers / details mentioned below.
2. We hereby request the management of Bahria Town to allow me/us to eliminate the boundary wall between my / our plot / house mentioned below. Moreover we undertake the responsibility that the building will be / has been constructed as per approval of design wing / rules defined in construction by – laws of Bahria Town (Pvt) Ltd.
3. We do undertake the responsibility that above mentioned wall will be constructed as per design given Design wing, within fifteen (15) days at our cost and risk when asked by management of Bahria Town (Pvt)Ltd or desired by any one of us with due intimation to Customer Support Center (Head Office).
4. If any one of the plot/house is sold the wall will be constructed by me at my own risk and cost before transfer of the house / plot.
5. That I / we hereby undertake and do hereby indemnify the Bahria Town (Pvt) Ltd against all losses, injuries, harms, damages, dues, if any, that may be occasioned to the Bahria Town or any one of us by not constructing the aforementioned wall.
6. That I / we further undertake to abide by all the rules and regulations of Bahria Town (Pvt) Ltd, CDA, RDA and DC/MC which are presently enforced or to be enforced in future.
7. That I / we hereby under take to pay any variation in development charges or any other charges on account of utilities etc on demand from Bahria Town (Pvt) Ltd.
8. I / we hereby undertake to pay tax levied by the relevant authority as and when demanded.
9. I / we undertake to abide by all the terms and conditions given above and also signed by me / us as per initial application form or at the back of allotment letter.
10. Moreover I / we will not challenge / confront the above terms and conditions at any forum or before any court of law / authority.
11. Bahria Town reserves the right to cancel the issued NOC or impose financial penalties on violations.

DEPONENT

Witnesses:

1. \_\_\_\_\_
2. \_\_\_\_\_

Signatures: 1. \_\_\_\_\_  
Signatures: 2. \_\_\_\_\_  
Signatures: 3 \_\_\_\_\_

**SPECIMEN OF UNDERTAKING**

To be prepared on Rs.100/- Stamp Paper Duly Attested by Notary Public  
To be submitted in: Design Wing-Commercial

**UNDERTAKING FOR CONSTRUCTION TILL PLINTH LEVEL IN RAINY SEASON**

I/We, \_\_\_\_\_ am/are owner/s of Reg. # \_\_\_\_\_  
Plot \_\_\_\_\_ St. # \_\_\_\_\_ Phase \_\_\_\_\_ Block/Sec \_\_\_\_\_ Bahria town, Islamabad/Rawalpindi do hereby  
undertake and solemnly affirm as under.

1. I /We have decided to start Construction of the building on the above-mentioned plot.
2. I /We do understand that construction on plot cannot be started without approval from related Development Authority (C.D.A./R.D.A./M.C.R.) and is my/our responsibility to obtain approval from Development Authority (C.D.A./R.D.A./M.C.R.)
3. I /We will obtain approval from Development Authority and if not will pay the penalties imposed by Development Authority for starting Construction without approval of required drawings and documents.
4. I / We will stop work or get approval further construction after completion of drawing and Documents from Design Wing Bahria Town on the stage of plinth level. If on the plinth level I don't have Bahria-Town Approval, work will be stopped by Building Control Department until approval of Bahria Town.
5. Owner will be responsible to provide any required document in case of any future change in concerned / related authorities.
6. I / We will neither start & proceed excavation work in Monsoon nor proceed excavation work in any rainy days until having clear weather days ahead required for such work.
7. Bahria town (Pvt) Ltd will not be held responsible for any penalties imposed by Development Authority or incase of the construction work will be held by Development Authority (C.D.A./R.D.A./M.C.R.).

Executant Name & Sign: \_\_\_\_\_ CNIC No: \_\_\_\_\_

**Witnesses:** 1 -Name & Sign: \_\_\_\_\_ CNIC No: \_\_\_\_\_

2- Name & Sign: \_\_\_\_\_ CNIC No: \_\_\_\_\_

**NOTE: PLEASE VERIFY BEFORE USING THIS FORMAT**



BAHRIA TOWN (PVT.) LTD. RAWALPINDI/ISLAMABAD

**SPECIMEN**

**SPECIMEN OF UNDERTAKING**

To be prepared on Rs.100/- Stamp Paper Duly Attested by Notary Public  
To be submitted in: Design Wing-Commercial

**UNDERTAKING FOR CONSTRUCTION TILL PLINTH LEVEL IN RAINY SEASON**

I/We, \_\_\_\_\_ am/are owner/s of Reg. # \_\_\_\_\_  
Plot \_\_\_\_\_ St.# \_\_\_\_\_ Phase \_\_\_\_\_ Block/Sec \_\_\_\_\_ Bahria town, Islamabad/Rawalpindi do hereby undertake and solemnly affirm as under.

1. I /We have decided to start Construction of the building on the above-mentioned plot.
2. I /We do understand that construction on plot cannot be started without approval from related Development Authority (C.D.A./R.D.A./M.C.R.) and is my/our responsibility to obtain approval from Development Authority (C.D.A./R.D.A./M.C.R.)
3. I /We will obtain approval from Development Authority and if not will pay the penalties imposed by Development Authority for starting Construction without approval of required drawings and documents.
4. I / We will stop work or get approval further construction after completion of drawing and Documents from Design Wing Bahria Town on the stage of plinth level. If on the plinth level I don't have Bahria Town Approval, work will be stopped by Building Control Department until approval of Bahria Town.
5. Owner will be responsible to provide any required document in case of any future change in concerned / related authorities.
6. I / We will neither start & proceed excavation work in Monsoon nor proceed excavation work in any rainy days until having clear weather days ahead required for such work.
7. Bahria town (Pvt) Ltd will not be held responsible for any penalties imposed by Development Authority or incase of the construction work will be held by Development Authority (C.D.A./R.D.A./M.C.R.).

Executant Name & Sign: \_\_\_\_\_ CNIC No: \_\_\_\_\_  
**Witnesses:** 1 -Name & Sign: \_\_\_\_\_ CNIC No: \_\_\_\_\_  
2- Name & Sign: \_\_\_\_\_ CNIC No: \_\_\_\_\_

**NOTE: PLEASE VERIFY BEFORE USING THIS FORMAT**



BAHRIA TOWN (PVT.) LTD. RAWALPINDI/ISLAMABAD

**SPECIMEN**

**SPECIMEN OF UNDERTAKING**

To be prepared on Rs.100/- Stamp Paper Duly Attested by Notary Public  
To be submitted in: Design Wing-Commercial

**UNDERTAKING FOR CONSTRUCTION  
(Commercial)**

I/We, \_\_\_\_\_ am/are owner/s of Reg. # \_\_\_\_\_  
Plot \_\_\_\_\_ St.# \_\_\_\_\_ Phase \_\_\_\_\_ Block/Sec \_\_\_\_\_ Bharia town,  
Islamabad/Rawalpindi do hereby undertake and solemnly affirm as under.

1. I / We intend to start construction of the building on the above-mentioned Plot.
2. I / We do understand that construction on plot cannot be started without approval from CDA/RDA/MCR/DC and it is my responsibility to obtain approval from the concerned Authority.
3. I / We will obtain approval from CDA/RDA/MCR/DC by myself / ourselves.
4. I / We will follow all the Byelaws & SOPs of concerned Authority in true letter of spirit.
5. I / We will pay all fee/penalties regarding approval of building plans by myself / ourselves.
6. I / We resolve all the matters regarding building approval by myself / ourselves.
7. I / We will stop work or get approval for further construction after completion of drawing and documents from Design Wing Bahria Town on the stage of plinth level. If on the plinth level I don't have Bahria Town Approval, work will be stopped by Building Control Department until the approval from the concerned Authority is submitted in Design Wing Bahria Town.
8. M/s Bahria Town (Pvt) Ltd will not be held responsible in case of any discrepancy's with Authorities.

Executant Name & Sign: \_\_\_\_\_ CNIC No: \_\_\_\_\_

Witnesses: 1 -Name & Sign: \_\_\_\_\_ CNIC No: \_\_\_\_\_

2- Name & Sign: \_\_\_\_\_ CNIC No: \_\_\_\_\_

NOTE: PLEASE VERIFY BEFORE USING THIS FORMAT



BAHRIA TOWN (PVT.) LTD. RAWALPINDI/ISLAMABAD

SPECIMEN

**SPECIMEN OF UNDERTAKING**

To be prepared on Rs.100/- Stamp Paper Duly Attested by Notary Public  
To be submitted in: Design Wing-Commercial

**UNDERTAKING FOR SIGN BOARD / COLOR**

I/We, \_\_\_\_\_ am/are owner/owners of Reg. No: \_\_\_\_\_, Plot No: \_\_\_\_\_, Street No: \_\_\_\_\_, Phase,  
Block/Sec \_\_\_\_\_, Bahria Town, Islamabad/Rawalpindi, do hereby undertake and solemnly affirm as under: -

1. Sign Board / Design / Color required by project \_\_\_\_\_, Plot# \_\_\_\_\_, Location# \_\_\_\_\_, Bahria Town Rawalpindi / Islamabad will be temporary.
2. I / We will follow all the SOP's of Bahria Town.
3. I / We will change sign board / Design / Color as per Bahria Town's future revised SOP's requirement.

Executant Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

**Witnesses:** 1 -Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

2- Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

**UNDERTAKING FOR SIGN BOARD TEMPORARY**

I/We, \_\_\_\_\_ am/are owner/owners of Reg. No: \_\_\_\_\_, Plot No: \_\_\_\_\_, Street No: \_\_\_\_\_, Phase,  
Block/Sec \_\_\_\_\_, Bahria Town, Islamabad/Rawalpindi, do hereby undertake and solemnly affirm as under: -

1. Sign Board / Pana flex on Plot / Plaza # \_\_\_\_\_ Bahria Town Rawalpindi / Islamabad is temporary.
2. I/We will follow all the SOP's of Bahria Town.
3. I/We will remove it after 2 months i.e., on Date \_\_\_\_\_, if not Bahria town management reserves the right to take any kind of action/cancel the issued NOC or impose financial penalties on violations.

Executant Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

**Witnesses:** 1 -Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

2- Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

**NOTE: PLEASE VERIFY BEFORE USING THIS FORMAT**



BAHRIA TOWN (PVT.) LTD. RAWALPINDI/ISLAMABAD

**SPECIMEN**

**SPECIMEN OF UNDERTAKING**

To be prepared on Rs.100/- Stamp Paper Duly Attested by Notary Public  
To be submitted in: Design Wing-Commercial

---

**UNDERTAKING FOR FLOOR WISE COMPLETION**

I/We, \_\_\_\_\_ am/are owner/owners of Reg. No: \_\_\_\_\_, Plot No: \_\_\_\_\_, Street No: \_\_\_\_\_, Phase, Block/Sec \_\_\_\_\_, Bahria Town, Islamabad/Rawalpindi, do hereby undertake and solemnly affirm as under: -

1. Floor wise completion of Plaza # \_\_\_\_\_ Bahria Town Rawalpindi / Islamabad is temporary for 10 days only from dated \_\_\_\_\_ to \_\_\_\_\_.
2. I / We will complete all the documentation pending within ten days.
3. I / We will ensure safety on site by placing engineering controls such as barriers, fences, and safeguards.
4. Further hereby undertake that repair and close all the openings.
5. I / We will barricade under construction floors /protect pedestrian area during construction.
6. Firefighting & security systems will be installed and operatable as per SOPs.
7. I hereby undertake that any objection raised by **RDA / CDA / MCR/DC** for any compliance work at any stage will be rectified / regularized by me.
8. I / We give this undertaking that I/We will obtain approval from **CDA/RDA/MCR** and if not pay the penalties imposed by **CDA/RDA/MCR**.
9. That I/we further undertake that Bahria Town shall not be responsible to pay any damages/claims due to any such incident.
10. Bahria Town reserves the right to cancel the issued NOC or impose financial penalties on violations.

Executant Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

**Witnesses:** 1 -Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

2- Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

---

**NOTE: PLEASE VERIFY BEFORE USING THIS FORMAT**



BAHRIA TOWN (PVT.) LTD. RAWALPINDI/ISLAMABAD

**SPECIMEN**



**SPECIMEN OF UNDERTAKING**

**To be prepared on Rs.100/- Stamp Paper Duly Attested by Notary Public  
To be submitted in: Design Wing-Commercial**

**UNDERTAKING FOR WINDOWS/ACCESS ON DEAD WALL TOWARDS SERVICE LANE/GREEN AREA/ANY OTHER**

I/We, \_\_\_\_\_ am/are owner/owners of Reg. No: \_\_\_\_\_, Plot No: \_\_\_\_\_, Street No: \_\_\_\_\_, Phase, Block/Sec \_\_\_\_\_, Bahria Town, Islamabad/Rawalpindi, do hereby undertake and solemnly affirm as under: -

1. That I/we are going to start construction of our plaza and want windows/access on dead wall towards
2. adjacent green area (property of Bahria Town)/Service Lane/drain etc.).
3. That I/we are bound to close these windows/access at the first notice whenever Bahria Town requires it and we will not ask
4. to extend the time period for their closure.
5. That the above statement is true to the best of my knowledge and there is no concealment of facts.
6. That I/We have given this undertaking with free will without any influence, coercion, pressure or binding and that the executants have no right to peruse/refer the same matter in any court of law under any pretext/excuse.
7. That Bahria Town reserves the right to cancel the issued NOC or impose financial penalties on violations.

Executant Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

**Witnesses:** 1 -Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

2- Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

**UNDERTAKING FOR CONSTRUCTION WITHOUT SOLDIER PILES OF COMMERCIAL BUILDING**

I/We, \_\_\_\_\_ am/are owner/owners of Reg. No: \_\_\_\_\_, Plot No: \_\_\_\_\_, Street No: \_\_\_\_\_, Phase, Block/Sec \_\_\_\_\_, Bahria Town, Islamabad/Rawalpindi, do hereby undertake and solemnly affirm as under: -

1. I/We hereby undertake that we are instructed by Consultant Structure Engineer and Bahria Town to execute R.C.C Piles due to soil conditions, but we are unable to execute them as soil is hard on ground.
2. I/We hereby undertake that in case of any damage to Bahria Services or adjacent building, I/we will be solely responsible for any damage incurred to the adjacent building during the construction of my building and will be responsible to get the adjacent building repaired till the time its status is restored to its original shape Management of Bahria Town Pvt. Ltd. shall not be responsible to pay any damages/claims to me or to adjacent buildings.
3. That the above statement is true to the best of my knowledge and there is no concealment of facts.
4. That I/We have given this undertaking with free will without any influence, coercion, pressure or binding and that the executants have no right to peruse/refer the same matter in any court of law under any pretext/excuse.
5. That Bahria Town reserves the right to cancel the issued NOC or impose financial penalties on violations.

Executant Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

**Witnesses:** 1 -Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

2- Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

**NOTE: PLEASE VERIFY BEFORE USING THIS FORMAT**



BAHRIA TOWN (PVT.) LTD. RAWALPINDI/ISLAMABAD

**SPECIMEN**

**SPECIMEN OF UNDERTAKING**

To be prepared on Rs.100/- Stamp Paper Duly Attested by Notary Public  
To be submitted in: Design Wing-Commercial

**UNDERTAKING FOR DESIGN APPROVAL CASES**

I/We, \_\_\_\_\_ am/are owner/owners of Reg. No: \_\_\_\_\_, Plot No: \_\_\_\_\_, Street No: \_\_\_\_\_, Phase, Block/Sec \_\_\_\_\_, Bahria Town, Islamabad/Rawalpindi, do hereby undertake and solemnly affirm as under: -

1. The Architectural Plot # \_\_\_\_\_, Street # \_\_\_\_\_, Bahria \_\_\_\_\_ are hereby approved with the following Terms & Conditions.
2. The Approval is granted only for the Architectural Plans/Designs/Elevations (# OF FLOORS) with total building height of \_\_\_\_\_ and the total covered area is a sunder: -

SCHEDULE OF AREA						
PLOT AREA = Sqft.						
FLOORS	CORNER TO CORNER COVERED AREA (Sqft.)	PROJECTION AREA (Sqft.)	VOID / DUCT AREA (Sqft.)	TOTAL AREA (Sqft.)	F.A.R. AREA WITHOUT SERVICES (Sqft.)	AREA USE
LOWER GROUND FLOOR						
GROUND FLOOR						
MEZZANINE FLOOR						
1st FLOOR						
2nd FLOOR						
3rd FLOOR						
4th FLOOR						
5th FLOOR						
MUMTY FLOOR						
GRAND TOTAL AREAS						



BAHRIA TOWN (PVT.) LTD. RAWALPINDI/ISLAMABAD

SPECIMEN

**SPECIMEN OF UNDERTAKING**

**To be prepared on Rs.100/- Stamp Paper Duly Attested by Notary Public  
To be submitted in: Design Wing-Commercial**

---

3. No Change/Alteration will be made in the Approved Drawings without approval of Design Wing.
4. Exterior finishes will be approved by Design Wing Commercial. In no case finishes will be started without approval of Design Wing.
5. Permanent Architect will be deputed on site by Client for the supervision of Architectural /Finishing Works.
6. The Design Architect will be responsible for the Working Drawings. Any discrepancy found will be rectified by him/her with intimation to Design Wing.
7. After the issuance of this Letter Client can hire Consultant for Structural Design. The Structural Consultant (Registered with PEC) will be wholly responsible for the Safety/Stability of the Structure. Complete Monitoring / Testing record will be submitted in Building Control Department regularly.
8. Complete Structural Design along with Soil Report, Design Calculations, Computer Model, Mix Design of Concrete to be used, Technical Specs and MEP drawings will be submitted in Design Wing. Once the duly Signed / Stamped Vetted Drawings i.e., Structure and MEP are received from the client, NOC for execution will be issued by Design Wing.
9. Construction Stages will be monitored/ recorded by the Consultants of the Client and complete record of Monitoring/Testing will be submitted regularly in Building Control Department of Bahria Town, as per Inspection Cards.
10. The Overall responsibility of the Architecture/ Structure/ M.E.P will be of the Design Consultants.
11. Bye-laws /SOP's of Bahria Town will be followed in True Letter and Spirit. Upon Violation, Penalty will be imposed as Per SOP's of Bahria Town, which may be Stoppage of Work, Demolishing, Fine Or cancellation of NOC.
12. Building Plans along with official fees will be submitted and got approved from RDA/CDA/Metropolitan Corporation/District Council by Client himself/ herself, prior to construction.
13. Undertaking will be submitted by Client regarding acceptance of the terms &conditions, as mentioned in the SOP's of Bahria Town and in this letter.
14. Bahria Town reserves the right to cancel the approval letter in case of any violation.
15. Soft copies of all the Drawings with 3 sets of Hard Copies will be submitted in Design Wing for Approvals.

Executant Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

**Witnesses:**

1 -Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

2- Name & Sign: \_\_\_\_\_

CNIC No: \_\_\_\_\_

---

**NOTE: PLEASE VERIFY BEFORE USING THIS FORMAT**



BAHRIA TOWN (PVT.) LTD. RAWALPINDI/ISLAMABAD

**SPECIMEN**

## Mumty Extensions

Plot Size	Allowed Mumty	Extension	Total Area	Payment
20' x 30'	200sqft/plot or depends on location	No Ext	200/plot	-----
30' x 30'	300Sqft/plot	No Ext	300/plot	-----
30' x 40'	300	120 Sqft	420 Sqft	Payment of 2500/sqft Total=300,000
40' x 40'	400	160 Sqft	560 Sqft	Payment of 2500/sqft Total=400,000
40' x 45'	420	180 Sqft	600 Sqft	Payment of 2500/sqft Total=450,000
40' x 60'	600	240 Sqft	840 Sqft	Payment of 2500/sqft Total=600,000
1K	1200	480 Sqft	1680 Sqft	Payment of 2500/sqft Total=12,00,000
Above 1 Kanal	F.A. R			

**Note:** Rs. 250,000/- will be charged for Pent-House in Acantilado Commercial.

## Design charges- Paradise & Gateway (Payments)

<b>s</b>	<b>Plot Size</b>	<b>30x40</b>	<b>40x40</b>	<b>40x60</b>	<b>40x80</b>	<b>DESIGN APPROVAL</b>
<b>1</b>	<b>No. Of Floors</b>	L.G+G+5	L.G+G+5	L.G+G+5	L.G+G+5	a) Up to 40x80, 90% of the Design Fee will be charged. b) Above 40x80, Rs.37.8/SFT will be charged as scrutiny fee.
<b>2</b>	<b>Design Charges</b>	RS 650,000/-	RS 800,000/-	RS 1,000,000/-	RS 1,050,000/-	
<b>3</b>	<b>Security</b>	RS 32,000/-	RS 65,000/-	RS 65,000/-	RS 65,000/-	
<b>4</b>	<b>Extra Land Design Charges</b>	RS 125/SFT	RS 125/SFT	RS 125/SFT	RS 125/SFT	
<b>5</b>	<b>CDA Submission Drawings Preparation Fee Only</b>	RS 60,000/-	RS 60,000/-	RS 95,000/-	RS 95,000/-	
<b>6</b>	<b>CDA Submission Completion Submission Preparation Fees</b>	RS 60,000/-	RS 60,000/-	RS 95,000/-	RS 95,000/-	

After Receiving Possession Letter...

# Work Flow-Information

## Design Wing-Residential



Note : Flow chart will be updated monthly as per required changes



# درک مشلو ڈیزائن ونگ

پوزیشن لیٹر کی وصولی کے بعد ...

## ریزیڈیٹ مشنل



**مرحلہ 6A** - کلینڈر ریڈنگ  
تعمیر کے بعد کلینڈر کے لیے درخواست  
مرحلہ (1)  
ہڈنگ کنٹریڈکٹس ریڈنگ میں درخواست دیں۔  
ہڈنگ کی ڈی ڈی کی طرف سے مطلع کیا جائے گا۔  
مرحلہ (2)  
فائل کلینڈر کے لیے جانچ کے لیے ڈیزائن ورنگ بھیجے جائے گی۔  
ڈیزائن ورنگ سے فائل کو 7 کارپوری دنوں میں ڈی ڈی ہڈنگ بھیج دیا جائے گا۔  
مرحلہ (3)  
ڈی ڈی ہڈنگ میں کو مزید کارروائی کے لیے ڈیزائن ورنگ بھیجے گا۔

**مرحلہ 5A** - فائل این او ای  
فائل این او ای اور حصول نقشہ نیکشن فائل (3 سے) کو کارپوری دنوں میں نیکشن کلینڈر کے ساتھ حوالے کی جائے گی۔  
دستاویزات کی تکمیل کاغذ پر پیش ہے۔  
مرحلہ 5B  
تعمیر کے آغاز سے پہلے  
فنانس کی منظوری کارپوریٹ آفس فراہم کرنے کے لیے  
ڈیزائن ورنگ سے رابطہ کریں۔  
تعمیراتی کام کے آغاز کے لیے این او ای ہڈنگ کو فراہم کیا جائے گا۔

**مرحلہ 4A** - منظوری کے تقاضے  
سپیشل ڈیزائننگ کی حقیقت اقتدار سے منظوری (اگر قابل اطلاق ہو)۔  
کاغذ کی طرف سے کلینڈر ڈیزائننگ مشنل ہڈنگ کے ساتھ حوالے کیا جائے گا۔  
اقتدار کو جمع کرنا ہونی چاہیے۔  
کاغذ کی حقیقت اقتدار کی ڈی ڈی سے / آر ڈی سے  
ڈی ڈی / این او ای فائل میں ہڈنگ اور دستاویزات کو مکمل کرنے کا پلین ہے۔  
این او ای کے لیے حیرت انگیز ڈیزائن ورنگ میں نقشہ کی منظوری میں فراہم کی جائے گی۔  
تعمیراتی کام کے آغاز سے پہلے  
ڈیزائن ورنگ سے رابطہ کریں۔

**مرحلہ 3A** - ورنگ / سیشن ڈیزائننگ سیٹ  
آر کیٹیگریز مکمل ڈیزائننگ سیٹ کاغذ کی طرف سے ہڈنگ کو فائل ہونے کے بعد آر کیٹیگریز ڈیزائننگ کی ڈی ڈی سے 21 کارپوری دنوں کے اندر ہڈنگ۔  
آر کیٹیگریز ڈیزائننگ کی طرف سے کلینڈر ڈیزائننگ کے لیے حوالے کی جائے گی۔  
مرحلہ 3B  
مشروع ڈیزائننگ سیٹ ہڈنگ اور ڈیزائن ورنگ کی حقیقت اقتدار سے منظوری کاغذ کو ساتھ ساتھ کلینڈر ڈیزائننگ کی ڈی ڈی سے فراہم کیا جائے گا۔  
نہ ائی ڈی ڈی ڈیزائننگ سیٹ آر کیٹیگریز ڈیزائننگ کی حقیقت کے بعد 7 کارپوری دنوں کے اندر ہڈنگ۔

**مرحلہ 2A** - ڈیزائن کی تجویز  
اقتدار کے قوانین ہڈنگ سے  
ڈی ڈی سے آر ڈی سے / این او ای سے آر ڈی سے فراہم کیا جائے گا۔  
ہڈنگ سے  
اقتدار کے قوانین ہڈنگ سے  
ڈی ڈی سے آر ڈی سے / این او ای سے آر ڈی سے فراہم کیا جائے گا۔  
ہڈنگ سے  
ڈیزائن ورنگ کی حقیقت اقتدار سے منظوری کاغذ کو ساتھ ساتھ کلینڈر ڈیزائننگ کی ڈی ڈی سے فراہم کیا جائے گا۔  
نہ ائی ڈی ڈی ڈیزائننگ سیٹ آر کیٹیگریز ڈیزائننگ کی حقیقت کے بعد 7 کارپوری دنوں کے اندر ہڈنگ۔

**مرحلہ 1A** - کلینڈر کی حقیقت  
کلینڈر کی طرف سے دستاویزات ہڈنگ سے فراہم کیا جائے گا۔  
ہڈنگ سے فراہم کیا جائے گا۔  
ہڈنگ سے فراہم کیا جائے گا۔  
ہڈنگ سے فراہم کیا جائے گا۔  
ہڈنگ سے فراہم کیا جائے گا۔  
ہڈنگ سے فراہم کیا جائے گا۔  
ہڈنگ سے فراہم کیا جائے گا۔  
ہڈنگ سے فراہم کیا جائے گا۔  
ہڈنگ سے فراہم کیا جائے گا۔

**مرحلہ 6B** - ڈیزائن ورنگ سے کلینڈر ریڈنگ کا اجراء  
ڈیزائن ورنگ کی طرف سے کلینڈر ریڈنگ کی ڈی ڈی سے فراہم کیا جائے گا۔  
ڈیزائن ورنگ سے فراہم کیا جائے گا۔  
ڈیزائن ورنگ سے فراہم کیا جائے گا۔  
ڈیزائن ورنگ سے فراہم کیا جائے گا۔  
ڈیزائن ورنگ سے فراہم کیا جائے گا۔  
ڈیزائن ورنگ سے فراہم کیا جائے گا۔  
ڈیزائن ورنگ سے فراہم کیا جائے گا۔  
ڈیزائن ورنگ سے فراہم کیا جائے گا۔

**مرحلہ 5C** - دوران تعمیر مراحل  
دوران تعمیر مراحل کی تصدیق این او ای سے فراہم کیا جائے گا۔  
دوران تعمیر مراحل کی تصدیق این او ای سے فراہم کیا جائے گا۔  
دوران تعمیر مراحل کی تصدیق این او ای سے فراہم کیا جائے گا۔  
دوران تعمیر مراحل کی تصدیق این او ای سے فراہم کیا جائے گا۔  
دوران تعمیر مراحل کی تصدیق این او ای سے فراہم کیا جائے گا۔  
دوران تعمیر مراحل کی تصدیق این او ای سے فراہم کیا جائے گا۔  
دوران تعمیر مراحل کی تصدیق این او ای سے فراہم کیا جائے گا۔

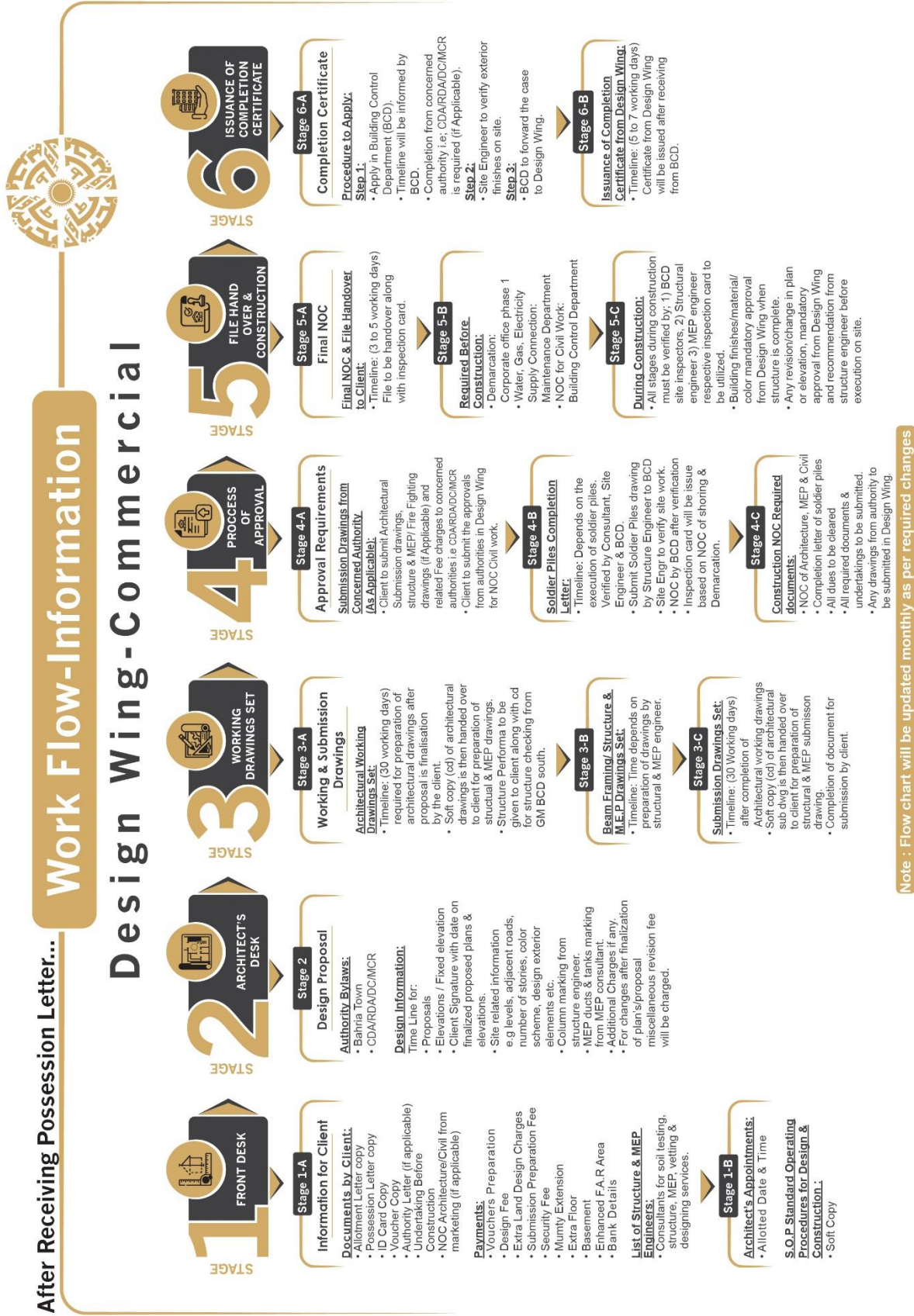
**مرحلہ 4B** - تعمیراتی این او ای کے لیے درکار دستاویزات  
تعمیراتی این او ای کے لیے درکار دستاویزات فراہم کیا جائے گا۔  
تعمیراتی این او ای کے لیے درکار دستاویزات فراہم کیا جائے گا۔  
تعمیراتی این او ای کے لیے درکار دستاویزات فراہم کیا جائے گا۔  
تعمیراتی این او ای کے لیے درکار دستاویزات فراہم کیا جائے گا۔  
تعمیراتی این او ای کے لیے درکار دستاویزات فراہم کیا جائے گا۔  
تعمیراتی این او ای کے لیے درکار دستاویزات فراہم کیا جائے گا۔  
تعمیراتی این او ای کے لیے درکار دستاویزات فراہم کیا جائے گا۔

**مرحلہ 3C** - سیشن ڈیزائننگ سیٹ  
آر کیٹیگریز ڈیزائننگ کی حقیقت کے بعد 20 سے 25 کارپوری دنوں کے اندر ہڈنگ۔  
آر کیٹیگریز ڈیزائننگ کی حقیقت کے بعد 20 سے 25 کارپوری دنوں کے اندر ہڈنگ۔  
آر کیٹیگریز ڈیزائننگ کی حقیقت کے بعد 20 سے 25 کارپوری دنوں کے اندر ہڈنگ۔  
آر کیٹیگریز ڈیزائننگ کی حقیقت کے بعد 20 سے 25 کارپوری دنوں کے اندر ہڈنگ۔  
آر کیٹیگریز ڈیزائننگ کی حقیقت کے بعد 20 سے 25 کارپوری دنوں کے اندر ہڈنگ۔  
آر کیٹیگریز ڈیزائننگ کی حقیقت کے بعد 20 سے 25 کارپوری دنوں کے اندر ہڈنگ۔  
آر کیٹیگریز ڈیزائننگ کی حقیقت کے بعد 20 سے 25 کارپوری دنوں کے اندر ہڈنگ۔

**مرحلہ 2B** - آر کیٹیگریز ڈیزائننگ  
آر کیٹیگریز ڈیزائننگ کی حقیقت کے بعد 20 سے 25 کارپوری دنوں کے اندر ہڈنگ۔  
آر کیٹیگریز ڈیزائننگ کی حقیقت کے بعد 20 سے 25 کارپوری دنوں کے اندر ہڈنگ۔  
آر کیٹیگریز ڈیزائننگ کی حقیقت کے بعد 20 سے 25 کارپوری دنوں کے اندر ہڈنگ۔  
آر کیٹیگریز ڈیزائننگ کی حقیقت کے بعد 20 سے 25 کارپوری دنوں کے اندر ہڈنگ۔  
آر کیٹیگریز ڈیزائننگ کی حقیقت کے بعد 20 سے 25 کارپوری دنوں کے اندر ہڈنگ۔  
آر کیٹیگریز ڈیزائننگ کی حقیقت کے بعد 20 سے 25 کارپوری دنوں کے اندر ہڈنگ۔  
آر کیٹیگریز ڈیزائننگ کی حقیقت کے بعد 20 سے 25 کارپوری دنوں کے اندر ہڈنگ۔

**مرحلہ 1B** - کلینڈر کی حقیقت  
کلینڈر کی طرف سے دستاویزات ہڈنگ سے فراہم کیا جائے گا۔  
ہڈنگ سے فراہم کیا جائے گا۔  
ہڈنگ سے فراہم کیا جائے گا۔  
ہڈنگ سے فراہم کیا جائے گا۔  
ہڈنگ سے فراہم کیا جائے گا۔  
ہڈنگ سے فراہم کیا جائے گا۔  
ہڈنگ سے فراہم کیا جائے گا۔  
ہڈنگ سے فراہم کیا جائے گا۔

نوٹ: فلو چارٹ کو مطلوبہ تبدیلیوں کے مطابق ماہانہ اپ ڈیٹ کیا جائے گا









BAHRIA TOWN

Bahria Town Pvt. Ltd.  
Rawalpindi/Islamabad

**PIONEER** in Developing Lifestyle